

ZELIENOPE

COMMUNITY PARK

Master Site Plan
-and-
Swimming Pool
Feasibility Study
BRC-TAG 12-268



This project was funded in part by a grant from the Keystone Recreation, Park, and Conservation Fund under the administration of the Pennsylvania Department of Conservation and Natural Resources, Bureau of Conservation and Recreation.

Fall 2008
PASHEK ASSOCIATES
WADE ASSOCIATES

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PUBLIC MEETING ATTENDEES



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Zelienople Community Park

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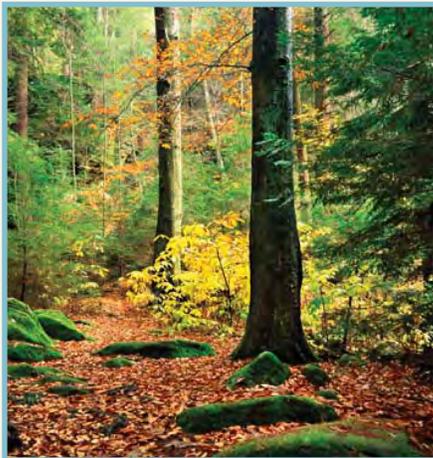
CHAPTER 1:

Project Introduction

Parks and public recreation is an important element of many communities, including the Borough of Zelienople. The Borough successfully applied to the Pennsylvania Department of Conservation and Natural Resources (DCNR) in 2006 for a Community Conservation Partnership Program (C2P2) grant to fund the preparation of a Master Plan and Swimming Pool Feasibility Study for its biggest recreational assets: Zelienople Community Park and Swimming Pool. Upon receiving the grant, Borough retained Pashek Associates to prepare the Master Plan and Pool Feasibility Study. This report details results and processes for both projects.

WHY IS RECREATION IMPORTANT?

Parks and recreation are an essential part of the quality of life in community. Benefits they provide include the following:



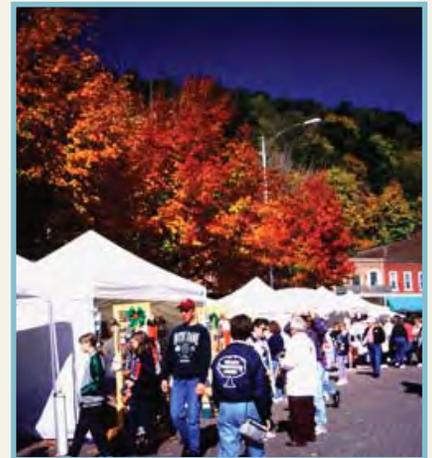
Environmental Benefits

- preserving habitat and wildlife
- protecting ecosystems
- reducing pollutants



Community Benefits

- providing places for community events
- offering opportunities for physical exercise
- providing a place to safely enjoy the natural environment



Economic Benefits

- attracting businesses and their employees to the area
- increasing property values potentially boosting tourism

WHY A MASTER PLAN?

The Master Plan will provide the Borough of Zelienople with a blueprint for making decisions regarding recreational development that will *enhance the quality of life* for residents of the Borough and the surrounding region. Towards this end, the Master Plan strives to: 1) involve the surrounding community and its decision-makers in identifying sound strategies for recreation facility development; and 2) identify ways to maximize recreation opportunities with the most efficient use of resources.

WHY A SWIMMING POOL FEASIBILITY STUDY?

Families today are placing increasing demands on local communities for recreational facilities

and programs. Swimming pool users expect high-quality facilities and services, whether the pool is run by a municipality, private organization, or non-profit entity. These expectations have direct impact on aging facilities that have not yet been modified to meet changing recreation needs. A Swimming Pool Feasibility Study will determine what improvements can be made to improve efficiency of operations, bring the pool into compliance with current bathing place regulations, increase pool safety, better meet recreation needs of area residents, and increase financial success.

WHAT IS INVOLVED IN MASTER PLANNING?

A Master Plan involves a number of steps, including the following:

- ☛ Preparation of an inventory of existing site facilities and conditions;
- ☛ Analysis of natural site features such as topography, hydrology, soils, and vegetation; community- and recreation-related background information;
- ☛ Several methods of public participation (i.e. randomly-distributed public questionnaire, public input sessions, study committee meetings, key person interviews) that encourage collaboration with interested citizens to identify future recreation development policies;
- ☛ Establishment of goals for recreation development on the site and possible connections to other recreational assets in the region;
- ☛ Preparation of a Master Site Development Plan and associated recommendations for site, including opportunities for re-use of facilities, prevention of unnecessary lands disturbance, and reduction of planned operating and maintenance expenses;
- ☛ Estimation of construction costs;
- ☛ Study of affordability and feasibility of proposed improve
- ☛ Preparation of a phased capital improvements plan identifying short- and long-term strategies for recreation facility development; and
- ☛ Identification of funding strategies needed to support the capital improvement plan;



It is essential to note that the Master Plan is meant to be a *flexible* tool for planning. Specific details of the design and the final locations of facilities may be adjusted through subsequent design.

WHAT DOES A SWIMMING POOL FEASIBILITY STUDY INVOLVE?

Several tasks are undertaken as part of a Swimming Pool Feasibility Study for an existing pool. These tasks include:

- ❖ Review of the construction, work history, and maintenance of the pool;
- ❖ Comparison of existing swimming pool design with current design standards, guidelines, and regulatory codes, including: the Pennsylvania Bathing Code; Butler County Bathing

- Place Regulations; and the Americans with Disabilities Act;
- ❖ Assessment of mechanical, structural, and aesthetic conditions of the pool;
- ❖ Several methods of public participation (i.e. randomly-distributed public questionnaire, public input sessions, study committee meetings, key person interviews) that encourage collaboration with interested citizens to identify desired improvements;
- ❖ Analysis of funding, operating costs, and financial opportunities for the pool; and
- ❖ Identification of aesthetic, technical, and operations-based improvements that will increase pool use and profit.

The following chapters detail the conclusions and recommendations made at the culmination of the planning process for the Master Plan and Swimming Pool Feasibility Study. Supporting information on this process, including the Public Design Process, Site Inventory and Analysis, and community- and recreation-related background research undertaken as part of this project are explained in the later chapters of this report. Additional information and documentation is contained in the report's appendices.

CHAPTER 2:

Master Plan Recommendations and Implementation

PROJECT GOAL

At the onset of the planning process, the project study committee adopted a general goal for the Master Plan. This simple goal was to a wide variety of high-quality recreation resources to



members of the surrounding community and region. This goal was revisited throughout the design process to ensure that it would best guide development of the Master Plan.

This chapter describes recreation facility improvements proposed in the Final Master Plan, as well as strategies for marketing, organizational partnerships, and funding that will fuel implementation. These recommendations support the project goal above. The design process used to arrive at these recommendations is detailed in Chapter 4.

PARK PROGRAM

After consideration of existing facilities to remain in the park, facilities proposed in earlier draft plans, and public input, the Study Committee developed the following list of facilities and improvements for inclusion in the Final Master Plan. Proposed improvements are described in more detail later in this chapter.

- ☛ Playground and swings expansion
- ☛ Relocation of Rapp and Mussig Shelters
- ☛ Two proposed horseshoe courts
- ☛ Re-organization of main parking area
- ☛ Proposed secondary entrance / exit onto Beaver Street
- ☛ Proposed vehicular access to existing concessions stand and storage building east of newly-constructed youth ball field
- ☛ Rehabilitation of 2 of the 3 existing tennis courts
- ☛ Removal of the remaining tennis courts
- ☛ Removal of the old tennis courts
- ☛ Relocation of the existing basketball court
- ☛ Proposed skate park featuring in-ground “bowl” and above-ground equipment
- ☛ Replacement of lower (northern) park restroom
- ☛ Repairs to upper (southern) park restroom
- ☛ Re-orientation of youth ball field west of pool to minimize sun glare
- ☛ Proposed concessions stand and storage building for youth ball field west of swimming pool
- ☛ Removal of existing tee ball field
- ☛ Removal of existing gazebo
- ☛ Proposed riparian buffer plantings along stream banks just south of main playground
- ☛ Improvements to the existing Swimming Pool (Per Draft Pool Plan)
- ☛ Consolidation of playground equipment at the picnic grove in the center of the park loop

- road to a location near existing Shelter #1
- ☛ Amphitheater with 150-200 person capacity
- ☛ Three proposed picnic shelters (one 25' x 15', one 60' x 25' with kitchen and restrooms, one 100' x 30' with kitchen and restrooms)
- ☛ Proposed parking in several lots throughout the park (353 spaces including 30 handicapped-accessible spaces)
- ☛ Proposed walking path re-alignment
- ☛ Installation of trail signage including maps and rules at trailheads
- ☛ Proposed trail re-alignment and addition of new trail sections
- ☛ Proposed maintenance facility at location of existing old tennis court (unused)

FINAL MASTER PLAN DESCRIPTION

The Master Plan for Zelenople Community Park contains recommendations relating to existing and proposed facilities, park policies, site-specific and general recreation issues, estimated costs, partnerships, and potential funding. These recommendations are outlined in this section. Potential funding sources for each respective recreation opportunity are listed in this section, while detailed information on funding resources is found in the appendices of this report. Information on Pool Feasibility Study recommendations is found in the next chapter.

Upgrade the Park's Restrooms

The most glaring improvement needed in the park is an upgrade of the park's restrooms. The Master Plan proposes a renovation of the existing restroom in the picnic grove atop the hill in the southern part of the park. This renovation should include structural repairs, replacement of malfunctioning or outdated electric, water, and sanitary sewer piping and fixtures, provision of handicapped parking and access, and aesthetic improvements to the building's interior and exterior.

To better serve the northern part of the park, the existing restroom building should be removed, as necessary repairs may prove unfeasible. The Master Plan proposes a new 20' x 20' plumbed restroom building containing men's and women's restrooms in the northeastern part of the park adjacent to the existing storage building / concession stand. A sanitary sewer service line will need to be extended from the existing restroom location, around the proposed tennis and basketball courts, to the proposed restroom location.

Additional proposed plumbed restrooms are located in the proposed concessions stand / storage building adjacent to the youth ball field west of the swimming pool.

Possible Zelenople Borough / Zelenople Community Park Association Partners:
 Pennsylvania DEP, Pennsylvania Department of Community & Economic Development (DCED), Local contractors

Funding Programs to Explore:

- ☛ DCNR Community Conservation Partnerships Program (C2P2) Development Grants
- ☛ DCED Single-Application Grants

Add Formal Parking

Adjacency to Facilities

Good park design includes the provision of parking directly adjacent to recreation facilities. In a mature park such as Zellenople Community Park, space for parking directly next to recreation facilities is not always available because the park was designed and built prior to development of parking standards used in park design today. The lack of formal parking adjacent to existing recreation facilities has led to unauthorized parking in lawn areas of the park. The Master Plan strives to address this issue.

In some cases the Master Plan provides small lots accommodating an individual facility or small group of facilities. Examples are proposed parking lots near an existing shelter (#2) and two proposed shelters in the picnic grove atop the hill in the southern part of the park, as well as parking for the proposed amphitheatre, large shelter, and existing adult ball field. The Master Plan also proposes a small parking lot across the park road from the swimming pool. This lot accommodates the existing youth ball field.

In other instances such as near the park's entrance, the Master Plan proposes a large parking lot accommodating the swimming pool, playground, two picnic shelters, a proposed skate park, three existing ball fields (including one adult ball field), two tennis courts, and a basketball court. Such parking is located directly adjacent to some facilities, but hundreds of feet from others. Given the available space for parking at the park, short walks from parking to facilities may be required.

ADA Compliance

With the exception of the swimming pool no other existing facility in the park complies with current Americans with Disabilities Act (ADA) standards for handicapped accessibility. The Master Plan proposes paved handicapped-accessible parking near all park facilities, as well as access walks with stable, non-slip surfaces connecting parking and facilities.

The Right Amount of Parking

Recreation facility-specific parking standards for this study were estimated using standards from Pashek Associates' prior experience with similar projects. The highest possible use rate by players and spectators at any facility is its peak use. A facility's daily use is 60% of its peak use. Parking should accommodate average daily use while providing opportunity for overflow parking to meet peak use event needs. Parking standards for this study were figured from the daily use rate assuming 2.5 persons per car. Parking for some facilities may vary from this formula, as users may arrive with a higher frequency. The table below lists facilities proposed for inclusion in the Final Master Plan, as well as existing facilities to remain.

PARKING ANALYSIS (Final Master Plan)

Zelienople Community Park Master Plan and Pool Feasibility Study

Facility	Description of Peak Use	# of Persons / Vehicle	Peak Use # of Spaces	Daily Use # of Spaces (60% of Peak)	Actual # of Spaces (per Final Master)	Surplus / Deficiency(-)
Adult Ball Field (near school)	4 teams (2 playing, 2 waiting) of 12 players + 1 coach per team + 5 fans per team = 62 persons	1.5	42	26	*27 (includes 12 on-street spaces on Beaver St.)	1
Adult Ball Field (atop hill)	4 teams of 12 players + 1 coach per team + 5 fans per team = 62 persons	1.5	42	26	52	26
Little League Ball Field	4 teams of 12 players + 2 coaches per team + 12 parents per team + 5 fans per team = 124 persons	2.5	50	30	*15 (gravel parking on Pittsburgh Street)	-15
Youth Ball Field (near existing tennis)	4 teams of 12 players + 2 coaches per team + 12 parents per team + 5 fans per team = 124 persons	2.5	50	30	32	2
Youth Ball Field (across road from pool)	4 teams of 12 players + 2 coaches per team + 12 parents per team + 5 fans per team = 124 persons	2.5	50	30	24	-6
Swimming Pool	Capacity 300 people	2.5	120	72	41	-31
Rapp Shelter	Capacity 32 people (4 tables)	2.5	13	8	8	0
Mussig Shelter	Capacity 32 people (4 tables)	2.5	13	8	8	0
Existing Shelter #2	Capacity 128 people (16 tables)	2.5	52	32	32	0
Large Shelter (100x30)	Capacity 192 people (24 tables, w/ restrooms and kitchen)	2.5	77	47	50	3
Large Shelter (60x25)	Capacity 64 people (8 tables, w/ restrooms, kitchen)	2.5	26	16	16	0
Small Shelter (25x20)	Capacity 32 people (4 tables)	2.5	13	8	10	2
Large Playground (near Beaver Street)	45 people (30 kids + 1 parent per every 2 kids)	2.5	18	11	11	0

Small Playground (atop hill near existing shelters)	15 people (10 kids + 1 parent per every 2 kids)	2.5	6	4	4	0
Skate Park	20 skaters	1.5	14	9	9	0
Tennis Courts (2)	12 players (6 per court)	1.5	18	11	11	0
Amphitheater	Capacity 300 (200 seated, 100 lawn)	2.5	120	72	26	-46
Basketball	20 (4 teams of 5 players each)	1.5	14	9	9	0
Trails	(Assumes significant walk-up use, shared use of parking)	1	N/A	N/A	Shares Use	N/A
TOTAL				449	385	-64

NOTES:

- 1) - Total number of parking spaces includes 30 existing gravel spaces along Pittsburgh Street
- 2) - Several large parking lots in all portions of the park are shared by adjacent facilities. Actual # of spaces designated for each facility may be located in multiple lots.
- 3) - *This facility utilizes existing gravel parking along Pittsburgh Street, as well as on-street parking on Beaver Street
- 4) - This parking analysis does not account for on-street parking in the surrounding residential streets, nor parking lots at Connoquenessing Valley Elementary School.

Existing Parking, On-Street Parking, and Pedestrian / Bicycle Park Use

Master Planning a park in an urban setting requires consideration of overflow parking outside the park property, as well as park use by pedestrians and bicyclists. Many park visitors utilize existing parking on Pittsburgh Street, park on the southern side of Beaver Street adjacent to the park, or simply walk or ride a bicycle to the park. Because park users do not always bring a vehicle to the park, slightly less formal parking may be needed.

The Master Plan proposes that existing gravel parking along Pittsburgh Street be retained and handicapped-accessible parking be added to accommodate the adjacent ball fields. In addition, the Master Plan acknowledges that a large number of park visitors will continue to park their vehicles on adjacent streets while using park facilities. Many park visitors may walk to the park, and others may ride a bicycle. This plan recommends the continued use of existing bike racks (relocated as necessary), and installation of more bike racks throughout the park.

Bolder “No Parking” Signage and Barriers Needed



Existing “no parking” signs (pictured) on lawn areas adjacent to the park road are aesthetically pleasing, but are too small and do not attract attention of some park users. This plan recommends replacement of these signs with larger, bolder signs as well as physical barriers to unauthorized parking. The bottom of proposed no parking signs (similar to photo) should be at least 30” above the ground, easily readable at eye level for the driver of a vehicle. Signs should be constructed



of a sturdy weather-resistant material, should be mounted on metal posts, and should be erected behind proposed barriers to prevent damage by vehicles. Barriers should be rustic features such as timber guide rails, split rail fence, or placement of boulders.



Parking Lot Surfacing is Important

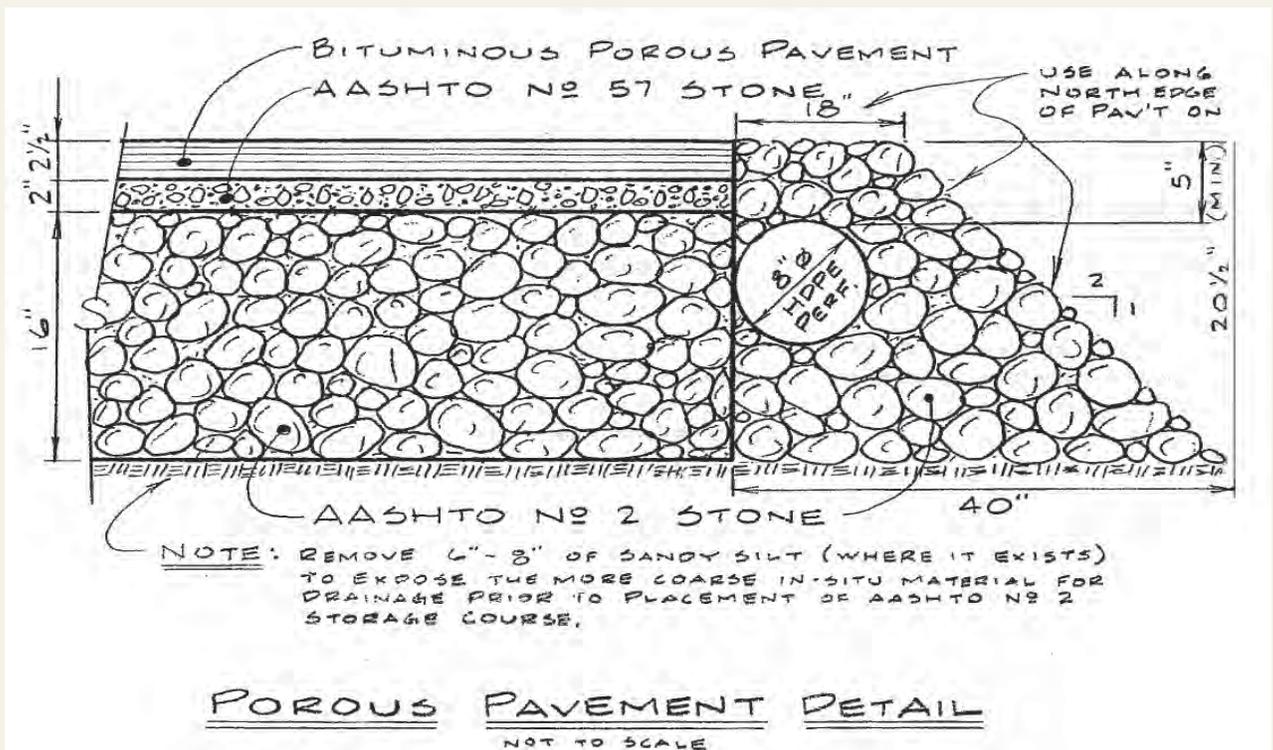
With the exception of paved handicapped parking spaces, the Master Plan recommends that all parking be surfaced with gravel. This will allow better infiltration of stormwater runoff and reduce the need for curbs, inlets, and storm sewer piping. Further, permeable pavement is a necessity because space is not available for ground-level stormwater detention facilities such as ponds.

Gravel paving will be much less expensive than asphalt paving in terms of up-front costs, but will require more frequent periodic maintenance than asphalt.

An alternate parking lot material is porous asphalt paving. This paving material performs like standard asphalt yet allows water to percolate into the ground below. Porous asphalt (see cross-section detail) is a highly effective paving material in southern states. However, it often deteriorates rapidly as a result of the severe freeze / thaw process common to Pennsylvania winters. This plan recommends that, if the Borough wishes to use porous asphalt paving in the park, only a single small proposed parking lot be paved as a test of the material's durability during all seasons. In addition, the Borough should perform a soil test in the area of proposed porous paving to ensure that once stormwater percolates through the paving, it will infiltrate into the soil below.

The cross-section provided details the construction of a porous asphalt parking lot constructed in Erie County in 2002. For more information, visit <http://www.mtsd.org/asburywoods/>. Additional information on permeable (porous) paving is included in the appendices of this report.

Porous paving requires a small amount of extra maintenance. According to U.S. Environmental Protection Agency (EPA) recommendations, permeable paving installations should account for 25% clogging of pore space within the paving annually. Cleaning the pavement will require annual or biannual vacuum sweeping and power washing.



Possible Zelienople Borough / Zelienople Community Park Association Partners:
 Pennsylvania DEP, Pennsylvania Department of Community & Economic Development (DCED), PennDOT, Butler County Conservation District, Local contractors

Funding Programs to Explore:

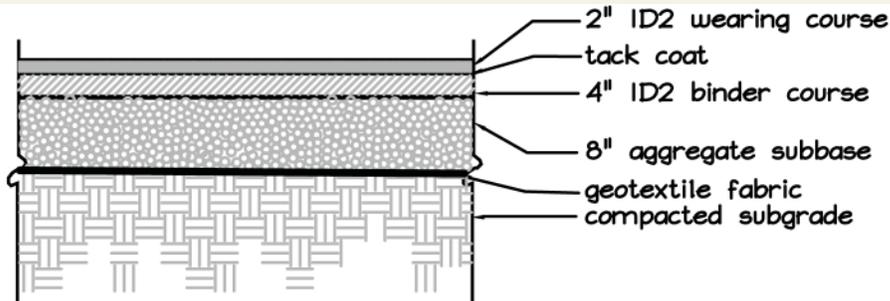
- DCNR Community Conservation Partnerships Program (C2P2) Development Grants
- DCED Single-Application Grants
- U.S. Department of Housing and Urban Development (HUD) - Community Development Block Grants (CDBG)
- DEP Small grant programs focused on watershed management ([see www.dep.state.pa.us](http://www.dep.state.pa.us))
- PennDOT / FHWA Surface Transportation Program (STP) Funds for bike signage or marketing projects such as maps, brochures, or public service announcements
- Transportation Equity Act for the 21st Century (TEA21) funds for bike signage

Roads and Circulation

The Master Plan proposes a resurfacing in order to accommodate both vehicular and bicycle traffic. A “share the road” situation is recommended because the park road is a low-speed circulation route. Signage (example pictured) should accompany the “share the road” area on along the park loop road. The road width should remain at 12 feet because widening the road will make the existing one-way traffic pattern on the park loop road more difficult to enforce (sufficient

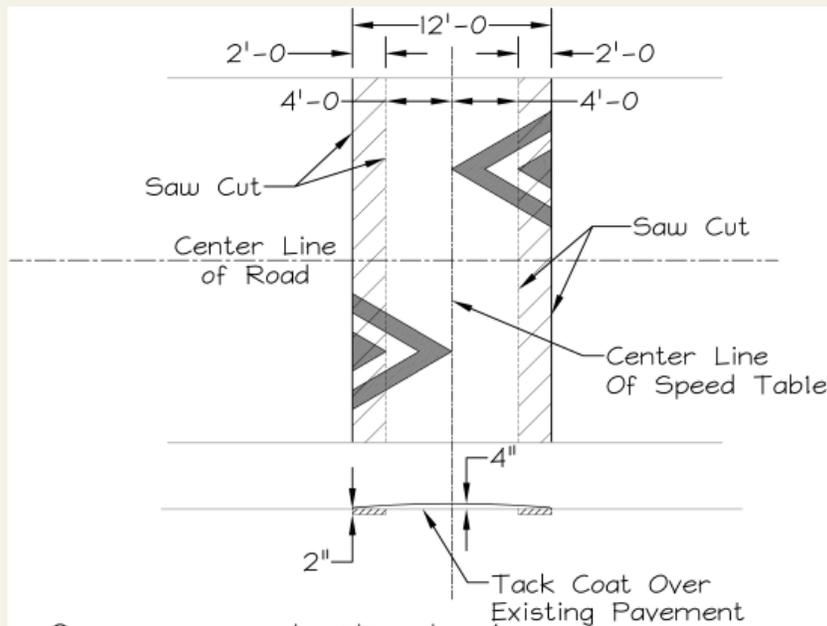
room would be available for two-way traffic regardless of signs).

In addition, the plan recommends a secondary entrance / exit road along Beaver Street east of the existing park entrance / exit. All proposed roads should be 20' wide, paved with asphalt (see detail), and should include speed tables (see detail) at near intersections and at 1000-foot intervals along the park loop road. Speed tables are elongated rectangular mounds of asphalt,



Bituminous Paving (Heavy Duty)

Not to Scale



Speed Table

Not to Scale

approximately 12 feet in length, and are a more durable alternative to smaller speed bumps commonly used in the past.

Pedestrian circulation is of equal importance in the park. The Master Plan proposes 5-foot wide compacted aggregate access paths to all facilities. The only exceptions are 6-foot wide paved walkways adjacent to parking lots.

Another concern voiced during public input was the replacement of the existing

culvert on the main park road (South Division Street). According to study committee accounts, culvert repairs in the past have been haphazard and stability of the culvert is a concern. This plan recommends replacement of the existing culvert.



Possible Zelienople Borough / Zelienople Community Park Association Partners:
Pennsylvania DEP, PennDOT, Local contractors

Funding Programs to Explore:

- ☛ PennDOT Liquid Fuels Funding (if all park roads are to be un-gated public roads)
- ☛ DCED Single-Application Grants for trail or bridge construction
- ☛ U.S. Department of Housing and Urban Development (HUD) - Community Development Block Grants (CDBG)

Construct a Unique Skate Park

Zelienople Borough and the Zelienople Community Park Association have an opportunity to create a unique recreation facility that will attract residents from surrounding municipalities and counties, and could potentially produce revenue for the park. Skaters and BMX bike riders currently have no place to ride or practice in Zelienople or the surrounding area, with the exception of Cranberry Township's Skate Park (pictured). A skate park in Zelienople would attract local use, and a unique skate park would attract use from the surrounding region.



This plan recommends construction of a pay-per-use skate park just north of the existing swimming pool, in the location of the existing basketball court (which this plan recommends to be relocated). This location was chosen for the following reasons:



- ☛ **Visibility:** The proposed skate park is located in the center of several other recreation facilities. A central, easily visible location reduces the possibility of vandalism or loitering at any recreation facility.
- ☛ **Fee Collection:** A skate park requiring the collection of user fees will be best located adjacent to the existing swimming pool. Skate park passes should be sold at the admissions desk for the swimming pool, and pool / skate day passes or season memberships should be offered at discounted rates when purchased together.

- ☛ **Staffing:** Monitoring the skate park for safety will be easier when utilizing staff from the swimming pool. Pool staff could periodically monitor the skate park throughout the day, and prepare first aid treatment if necessary. This will eliminate the need for paid staff to monitor the skate park or collect admission fees solely for the skate park.
- ☛ **Available Space:** The Master Plan strives to meet the community’s recreation needs while realizing constraints of the park site. The proposed skate park location offered the largest amount of space for skate equipment, as well as close proximity to staffing (at the pool) and parking.

Skate Park Equipment

This plan recommends prefabricated above-ground equipment for the skate park. Installation of ramps, trick boxes, grind rails, etc. will provide a variety of skate challenges and will provide flexibility in that equipment can be re-arranged periodically.

Ramps and other equipment should include sturdy steel ramp support structures covered by a polymer layer that decreases ramp noise, along with a ramp surface material known as Skatelite™. Pashek Associates recommends Skatelite because it is much quieter than steel ramps but requires less maintenance than wooden ramps. Skatelite is also installed in standard-sized panels that can be replaced individually, eliminating the need to replace entire ramps or obstacles if a small portion of the surface is damaged.

The skate park should include asphalt surfacing, and should be enclosed by 10-foot high chain-link fence with pedestrian and vehicular / maintenance access gates. Benches or picnic tables should be provided inside or near the skate park (preferably near shade trees) as a skater rest area.

Further Design and Partnerships

Detailed design should be completed as the initial step in construction for the skate park. Zelienople Borough and the Zelienople Community Park Association (ZCPA) should work first and foremost with local skaters and skate equipment dealers. In addition, the Borough and ZCPA should partner with state grant agencies and manufacturers for funding or technical assistance. Woodward is one of the nation’s leading manufacturers of skate park equipment, and operates Camp Woodward, a world-renowned skate park / bmx bike complex near State College, PA. This plan recommends partnering with Woodward or other such manufacturers when completing a skate park design featuring above-ground equipment.

Concrete “Bowl” Design

Public input indicated the desire for a concrete in-ground skating “bowl”. While a skate “bowl” (example shown) would undoubtedly be unique and would attract use from the surrounding



region, it may not be feasible on the Zelianople Community Park property. The proposed skate park site may not be large enough to develop a quality in-ground skate facility, and stormwater drainage would be an issue. This plan recommends that the Borough pursue design of an in-ground concrete skate “bowl” only if other existing facilities are removed from the park or if an alternate Borough-owned public recreation property is found.

Possible Zelianople Borough / Zelianople Community Park Association Partners:

DCNR, Zelianople / Harmony Chamber of Commerce, Butler County Department of Parks and Recreation, local skate groups and skate equipment dealers, Woodward Skate Ramps and Rails

Funding Programs to Explore:

- ☛ DCNR - Community Conservation Partnerships Program (C2P2) Planning or Development Grants
- ☛ PA Dept. of Labor and Industry - Pennsylvania Conservation Corps for manpower to build skate park equipment
- ☛ DCED Single-Application Grants
- ☛ Tony Hawk Foundation Grants for construction or technical assistance (*note: these grants require that no fees be charged for admission to the skate park)
- ☛ Woodward provides a skate park planning guide and sample online skate park layouts at <http://www.playworldsystems.com/ww/plan.asp>

Make the Playground a Destination

This plan recommends expansion and re-organization of the existing playground near the main park entrance to create a destination playground. Individual pieces of equipment should be consolidated and relocated to increase distance between the park road and playground. This playground will be a high-profile facility in the park. It should create a play experience including colorful surfaces, whimsical features, intriguing textures and spaces, and unique play equipment (while complying to applicable safety standards). The proposed destination playground is an opportunity to create an unparalleled recreation resource for children of Zelianople and the surrounding area. A local example of a destination playground is the “Purple Park” playground in Alameda County



in Alameda County Park (pictured at far right, along with other playground examples).

Unique play structures, climbing equipment, swings, and individual rides should be chosen for this play area through further design.



This master plan also recommends that the playground include and expand upon selected existing equipment, removing

only equipment that is outdated or in disrepair. Specific equipment to be removed includes the existing steel slide, several climbers scattered throughout the playground area, 4-seat spring ride, single spring rockers, tot swings, and the undersized basketball court / paved area. Equipment to be relocated includes the existing yellow tube play structure and all associated bench and table seating, blue / orange jungle gym, and lion drinking fountain.

A Pleasant Experience for All Playground Visitors

In addition, any redevelopment of the playground should retain existing shade tree canopy to the greatest extent possible.

It is important that the destination playground offer a pleasant experience for all its users, including not only children but adults observing children at play. Retaining and/or planting shade trees and offering benches or other casual seating in and around the proposed playground will create a comfortable setting for adults watching after children. Further, the Master Plan proposes relocation of the Rapp and Mussig Shelters to the green space near the existing playground. The shaded grove will create a desirable picnic atmosphere in which families using shelters can easily monitor children at the playground.

Other Playground Features

To comply with current safety standards, all play equipment and related safety zones should be underlain with rubberized safety surface. Although a larger initial expense than shredded bark mulch surfacing, rubberized surfacing will require less maintenance in the long term. Further, rubberized surface helps to prevent puddling and resulting mud, which are issues with the current playground. Proposed rubberized playground safety surface should be contained by aluminum edging.

Retain Existing Play Equipment Complying with Safety Codes

Some of the existing play equipment in the park's main play area should be retained for re-use in the proposed destination playground. During further detailed playground design, individual pieces of play equipment should be evaluated by a qualified parks and recreation practitioner, and equipment meeting current safety standards should be retained. Such equipment should be relocated if necessary in order to maximize available space for the destination playground.

Possible Zelienople Borough / Zelienople Community Park Association Partners: DCNR, Zelienople / Harmony Chamber of Commerce (to promote community build program and raise awareness and funds), Butler County Department of Parks and Recreation, KaBOOM!

Funding Programs to Explore:

- ☛ DCNR - Community Conservation Partnerships Program (C2P2) Planning or Development Grants
- ☛ DCED Single-Application Grants for trail or bridge construction
- ☛ KaBOOM! Community Partner funding opportunities



Sports Court Upgrades

The Master Plan proposes removal of one of the park’s tennis courts, redevelopment of the remaining two courts, and relocation of the existing basketball court.

Settling cracks have covered the existing tennis court surface, and simple resurfacing will only result in residual cracking. Redevelopment of tennis courts should include a total replacement of court surfacing, asphalt base course, and aggregate base. Chain-link fence enclosure should be retained, and tennis nets and posts should be retained if possible. Posts and fencing should be painted a uniform color upon court redevelopment.

New court surface should include an asphalt base course, asphalt color coat, and painted court lines. Court area should contrast in color from out-of-bounds areas (12 feet on sides of courts, 21 feet on ends of courts). Provide one 8-foot aluminum players bench for each proposed tennis court.



The proposed basketball court should re-use existing backboards, rims, and supports if possible. Court surface should include an asphalt base course with overlaying asphalt color coat and painted court lines. A 12-foot high chain-link fence enclosure with pedestrian and vehicular / maintenance gates should enclose the court surface, including actual court area and 6-foot out-of-bounds areas on all sides of court. Court area and out-of-bounds should contrast in color. Provide two 8-foot aluminum players benches for the proposed basketball court.

Possible Zelienople Borough / Zelienople Community Park Association Partners:

DCNR, Butler County Department of Parks and Recreation

Funding Programs to Explore:

- ☛ DCNR - Community Conservation Partnerships Program (C2P2) Development Grants
- ☛ PA Dept. of Labor and Industry - Pennsylvania Conservation Corps for manpower to build courts
- ☛ DCED Single-Application Grants

Ball Field Improvements

To increase safety and provide space for other facilities, the Master Plan recommends several improvements to the park's existing ball fields. First, the plan recommends removal of the existing tee-ball field to provide room for a much-needed secondary park entrance and parking for other facilities. Tee-ball games can be played on any field in the park, and field lighting (per park design guidelines found later in this chapter) can be used to extend field use hours to accommodate the increase in play until an alternate location for tee-ball fields is found. A flat parcel of Borough-owned property on Front Street in the southeast portion of the Borough (near the Sportsmen's Club property) was mentioned during public input as a possible alternate location for tee-ball fields.

The plan also recommends rotation of the existing youth ball field just west of the existing swimming pool facility. Field rotation will reduce sun glare during games, and will reduce the current issue of windblown dust from the infield being carried onto adjacent facilities. Proposed parking and a concessions stand / storage building with plumbed men's and women's restrooms is located just east of the field.

Existing storm drainage piping in the northeastern part of the park, specifically in the left field corner of the existing adult ball field, should be checked for clogs or other damage. All damaged sections should be replaced with new drain piping which will carry stormwater runoff westward to the existing stream. Underdrains from all adjacent fields should be tied into this drainage system.

The upper (southern) adult ball field at the park is in close proximity to other proposed facilities, parking, and the park loop road, making foul balls a safety issue. The Master Plan recommends installation of a 30-foot high safety net extending along each side of the field for 150 feet from the existing backstop.

Possible Zelienople Borough / Zelienople Community Park Foundation Partners:

DCNR, Butler County Department of Parks and Recreation, Zelienople-Harmony Athletic Association

Funding Programs to Explore:

- ☛ DCNR - Community Conservation Partnerships Program (C2P2) Development Grants
- ☛ PA Dept. of Labor and Industry - Pennsylvania Conservation Corps for manpower to improve fields
- ☛ DCED Single-Application Grants
- ☛ Major League Baseball's Baseball Tomorrow Fund

Retain Character at the Upper Picnic Grove

The shaded setting at the upper (southern) picnic grove atop the hill in the park is very desirable for picnicking and casual play. The Master Plan recommends several changes to the picnic grove, and that these changes be implemented in such a manner that the picnic grove's character is retained.

Picnic Shelters

The Final Master Plan proposes removal of three existing picnic shelters (#1, #3, and #4), and construction of three new picnic shelters of varying sizes. One small shelter (25' x 20') will replace existing shelter #4, while a larger 60' x 25' shelter complete with kitchen will replace existing shelter #3.

An additional proposed shelter is located on the level area east of the adult ball field. This 100' x 30' shelter includes a kitchen and restrooms, and shares parking with the adjacent ball field and trail system. Guidelines for picnic shelters are found later in this chapter.

Amphitheater

Zelienople is in need of a formal outdoor gathering space for small concerts and performances during large events such as 4th of July activities and Horse Trader Days. The proposed amphitheater provides lawn seating terraces separated by stone walls between each terrace. Additional informal seating will surround the amphitheater on the adjacent hillside. In addition to the seating area, the amphitheater includes a concrete stage with utility service, vehicular access to the stage area, and pedestrian access to the seating area from proposed parking near the existing adult ball field.

Access Roads and Parking

Proposed parking will greatly reduce the amount of unauthorized lawn parking in the picnic

grove. The Master Plan recommends widening the access road to 15 feet and paving it with gravel. The widened road will allow sufficient space for vehicles backing out of adjacent parking spaces. Proposed re-aligned portions of the access road near existing Shelter #2 should also be 15 feet wide.

Satellite Playground

The Borough should remove outdated play equipment in the upper picnic grove. Such equipment includes individual spring rockers, swings, metal bench swings, and other equipment in disrepair. Play equipment to remain should be consolidate near the existing play structure just southeast of existing Shelter #1. Shredded bark mulch safety surface and timber edging should be installed, as this playground is suitable for casual picnic use and is not a destination within the park.

Extend or Upgrade Utilities

With the installation of proposed pavilions will come the need for extensions of water, electric, and sanitary sewer services. The two largest proposed pavilions will require utility service to kitchenettes (the largest pavilion also includes its own restrooms). Existing water and sanitary sewer lines extending from South Division Street southward may need to be upgraded to accommodate increased capacity. Also, a fire hydrant should be installed at a central point in the picnic grove for safety reasons. Another option that the Borough should consider is an extension of a water service line from Endres Drive just south of the park.

Possible Zelianople Borough / Zelianople Community Park Foundation Partners:

DCNR, Butler County Department of Parks and Recreation, Western Butler County Authority, and Local organizations such as the Masons Lodge, VFW, American Legion, Rotary Club, etc.

Funding Programs to Explore:

- ☛ DCNR - Community Conservation Partnerships Program (C2P2) Development Grants
- ☛ PA Dept. of Labor and Industry - Pennsylvania Conservation Corps for manpower to improve fields
- ☛ DCED Single-Application Grants

For detailed utility extension / upgrade design, the Borough should consult a qualified professional engineer.

Trail System Improvements

Field observation during the Master Plan process overwhelmingly identified the need for improvements to the existing 1.5-mile trail system. The Master Plan proposes rerouting several sections of trail and construction of other trail sections totalling roughly 1/2 mile. Further, it proposes installation of trail signage, including trail maps, trail markers, approximate distances,

and identification of unauthorized trails entering the park from surrounding neighborhoods via signage.

With new earth trail surface and a trail alignment designed to minimize erosion, the trails within the park will be suitable for use by hikers and cross-country runners. A high-quality trail system of any length could attract more park use.

Trail Design for Sustainability

The trail alignments shown on the Master Plan mapping are a general layout only. Trail design shapes trail users experience, and inch-by-inch trail design in the field is the difference between an average trail and an extraordinary one. The Master Plan recommends that Zellenople Borough strive to construct a sustainable trail system designed to accommodate the ongoing forces of trail use, weathering, and erosion in order to minimize trail maintenance. Unsustainable sections of existing trail, some of which are identified in this plan, should be removed and re-routed for better sustainability.

Sustainable trails are planned like small-scale roller coasters that continually roll up and down, forcing water to fall off the trail in the trail dips. The more frequent the dips, the less water can accumulate on the trail between the dips, thus the less water can runoff and erode the trail. The distance between dips in the trail grade is a choice to be made by trail creators or owners. Dips do not necessarily relate to the park site's topography. To minimize the amount of runoff that collects on the proposed trails, this Master Plan recommends a short distance between dips (50 to 75 feet). The vertical distance between the low points in these dips and the high points between ("crests") will vary according to trail alignment at each exact location.

Trails should gradually traverse hillsides (trail slopes should be 15% or less) rather than climb at or near the fall line. The only exceptions to this rule of thumb are short sections of steep trail (50 feet or less) designed to provide challenge and/or variety.

The proposed trail system should make the best possible use of the existing park site. Large amounts of grading or clearing for trail construction are expensive and unnecessary.

An excellent resource for design and construction of sustainable trails for all uses is Natural Surface Trails by Design: Physical and Human Design Essentials of Sustainable, Enjoyable Trails by Troy Scot Parker. The concepts discussed in this book are adopted by this Master Plan.

Trail Surface is Important

The Master Plan proposes 4-foot-wide natural earth surface or woodchip surface trails in forested areas. This will reduce costs for trail paving materials. Narrow trails reduce the amount of exposed bare soil surface, minimizes earthwork, and can help to create a sense of anticipation among trail users when distant trails are not easily visible. In addition, narrow trails minimize or eliminate the need for clearing of forest canopy, which protects trails from erosion.

The trails should be crowned in nearly level areas to allow water to run off both sides of the trail.

When traversing a slope, trail surface should slope *toward* the hillside. The exception to this rule is at the bottom of “dips” in the trail, where the slope should reverse briefly (thus sloping away from the hillside) so that water is allowed to drain off the trail.

Trails and access paths in open, developed areas of the park should be 5’ wide and constructed of compacted aggregate for compliance with ADA standards and for durability under larger amounts of pedestrian traffic.

Add Signage including Maps and Rules

Clear, concise trail signage including trail markers, mapping, and rules will make the proposed trail system much more user-friendly. Trail maps and rules should be posted at all trailheads, and trail markers or directional signage should be located at all trail intersections.

Degrees of trail segment difficulty (easy, intermediate, difficult), as well as distances between trailheads and intersections, should be noted on trail mapping. Interval distances (tenth- or quarter-mile intervals) should be marked where desired.

An issue common to most trail systems at public parks is dog waste on the trail. Trail rules should include a “bag rule” whereby the Borough provides bags (free of charge, at trailheads) for use by dog owners in removing their dog’s waste from the trail. Such a rule is nearly impossible to enforce, but its inclusion in trail rules elicits compliance from most park users.



Share Maintenance Responsibility

Because the trail system at Zelienople Community Park is not complex or extensive, the Borough is capable of maintaining the trails. However, the Borough should still approach recreation groups (i.e. local cross country teams) using the trails to discuss agreements for assistance in periodic trail maintenance. These organizations regularly use the trails in the park during select seasons, and may be willing to repair portions of the trail, clear fallen trees, repair or build small footbridges when necessary.

Possible Zelianople Borough / Zelianople Community Park Association Partners:

DCNR, Seneca Valley School District, Butler County Department of Parks and Recreation, local trail use groups

Funding Programs to Explore:

- ☛ DCNR - Community Conservation Partnerships Program (C2P2) Planning or Development Grants
- ☛ Pennsylvania Urban and Community Forestry Department - Community Improvement Grants for trail construction
- ☛ Kodak American Greenways Awards Program Grants - for trail construction projects
- ☛ PA Dept. of Labor and Industry - Pennsylvania Conservation Corps for manpower to build trails, signage, benches, etc.
- ☛ DCED Single-Application Grants for trail construction
- ☛ Natural Resource Conservation Service - Resource Conservation and Development Councils for trail system construction
- ☛ PennDOT / FHWA Surface Transportation Program (STP) Funds for trail construction or marketing projects such as maps, brochures, or public service announcements
- ☛ Transportation Equity Act for the 21st Century (TEA21) funds for trail construction

Stream Piping and Riparian Buffers

Among the proposed improvements to the swimming pool facility is an expansion of the pool perimeter fence to include more sun bathing area. This expansion would require piping of a 115-foot section of the stream flowing through the park, and piping the stream may require a permit. The Borough should hold a pre-application meeting with DEP to discuss the type of permit, if any, required to pipe the stream. If a permit is required, the Borough should retain an environmental consultant to prepare permit materials and coordinate with DEP. DEP's northwest regional office is located in Meadville. Contact information is shown below:

DEP Northwest Regional Office
230 Chestnut Street
Meadville, PA 16335
Phone: (814) 332-6945
Fax: (814) 332-6125
Website: www.depweb.state.pa.us/northwestregion/site/default.asp

The Master Plan also proposes riparian buffers adjacent to portions of the stream in existing lawn areas of the park. Riparian buffers are vegetated areas protecting stream water quality by filtering stormwater runoff, stabilizing stream banks, and help control water temperature by providing cooling shade. Riparian buffers also provide food and shelter to wildlife. Vegetation may include native grasses, herbaceous plants, shrubs, and trees.

The creation of riparian buffers using native plants is among the recommendations set

forth in “*Creating Sustainable Community Parks, A Guide to Improving Quality of Life by Protecting Natural Resources*”, published by Pennsylvania DCNR. This publication provides valuable recommendations regarding how to implement sustainable practices into park design, maintenance, and operations. Such recommendations are adopted by this Master Plan. The guide can be obtained from www.dcnr.state.pa.us/brc/GreeningPennsylvania.pdf. More information on this guide is found in the sustainable parks information found later in this chapter.

This plan also recommends that access to the stream be retained, and that access points be designed in a manner that minimizes erosion and damage to the stream bank resulting from foot traffic. The stream is a natural feature attracting children at play. Stream banks in the park are gently-sloping and offer several safe access points. Educational signage relating to the stream and riparian buffers should be installed near stream access points.

Possible Zelienople Borough / Zelienople Community Park Association Partners:
DCNR, DEP, Butler County Conservation District, Zelienople-Harmony Chamber of Commerce, Seneca Valley School District.

Funding Programs to Explore:

- ☛ DCNR - Community Conservation Partnerships Program (C2P2) Technical Assistance or Development Grants
- ☛ Pennsylvania Urban and Community Forestry Department - Community Improvement Grants for trail construction
- ☛ Kodak American Greenways Awards Program Grants
- ☛ PA Dept. of Labor and Industry - Pennsylvania Conservation Corps for manpower to plant riparian vegetation
- ☛ Lowe’s Charitable and Educational Foundation Funding for riparian plantings and educational signage
- ☛ Natural Resource Conservation Service - Resource Conservation and Development Councils for riparian buffer plantings

Maintenance Facility

Existing maintenance storage is spread throughout the park in closets or small room in several different buildings. The Master Plan proposes a single maintenance facility at the location of the old tennis courts. This facility consists of a 1,600-square foot maintenance garage / storage building, a 15-foot wide gated access road, gravel outdoor materials storage, evergreen screen plantings, and a gated emergency access road to Culvert Street.

The emergency access road would require crossing the southern edge of Masons’ Lodge property. The Borough should approach the Masons Lodge to discuss an access easement or other agreement to utilize the southern portion of their property for park access.

In addition, park dumpster pick-up should be relocated to the eastern terminus of Culvert Street. This will eliminate the need for garbage trucks in the park, and will not require additional trash

pickup routes because garbage trucks currently serve residences along the entire length of Culvert Street.

Possible Zelienople Borough / Zelienople Community Park Association Partners:
DCNR, DCED

Funding Programs to Explore:

- ☛ DCNR - Community Conservation Partnerships Program (C2P2) Technical Assistance or Development Grants
- ☛ PA Dept. of Labor and Industry - Pennsylvania Conservation Corps for manpower for construction of outdoor material storage area or evergreen screen plantings
- ☛ DCED Single-Application Grants for trail construction

- 1** **Playground Area Improvements:**
 - Remove existing asphalt basketball court and outdated or damaged playground equipment
 - Relocate play structure or replace with new equipment
 - Consolidate playground areas (not including swings)
 - Extend swings by 2 bays
 - Install rubberized safety surface under all equipment
 - Accessible walkways from parking lot and pavilions
 - Install benches for parents
- 2** Relocate Rapp and Mussig Shelters to green space near playground
- 3** Replace any existing drainage between ball fields in the northeastern part of the park with new storm drains and inlets. Tie any underdrains from adjacent fields into this storm system.
- 4** **Streambank Restoration:**
 - Riparian buffer plantings (native grasses and shrubs)
 - Retain access to stream while stabilizing banks
 - Reduces maintenance (less mowing)
- 5** **Swimming Pool Improvements:**
 - Refer to Swimming Pool Feasibility Study Detail Plans
- 6** Create additional parking lot entrance / exit
- 7** Remove existing restroom building
- 8** **Proposed Parking Areas:**
 - 338 total spaces (9 lots)
 - 31 handicapped accessible spaces
 - Additional gravel parking (existing) along Pittsburgh Street and on-street parallel parking along Beaver Street
- 9** Install "One-Way" and "Do Not Enter" signage at road intersection to clarify one-direction traffic on the park loop road and hilltop picnic grove access roads.
- 10** **Large Picnic Shelter:**
 - 100' x 30' with restrooms and enclosed kitchen
 - Shares parking with adult ball field and trailheads
- 11** **Install Signage at all Trailheads**
 - Trail system mapping
 - Trail difficulty ratings (color-coded)
 - Trail rules
 - Trail distances
 - Current location on trail map ("You Are Here") Indicator
- 12** **Relocate Basketball Court:**
 - New asphalt base and color coat court surface
 - Re-use goals, backboards, and supports if possible
 - Install underdrains to control drainage
 - 12' chain-link fence enclosure with access gates
- 13** **Maintenance Facility:**
 - 1,600-sq. ft. maintenance garage / storage building
 - 15' wide paved, gated access road (with gated emergency access to Culvert Street)
 - Evergreen screening near property lines
 - Gravel-paved outdoor storage area
 - Arrange park dumpster pick-ups from Culvert Street
 - Approach adjacent Masons' Lodge to discuss an agreement for access to rear portion of their property (for access road)
- 14** **Youth Ball Field Improvements:**
 - Construct concessions / storage building with attached restroom
 - Rotate Youth Ball Field
 - Install evergreen trees to screen neighboring properties
 - Install access walkways to dugouts / players benches and bleachers
 - Relocate drinking fountain
 - Re-align existing walkway

- 15** **Little League / Youth Ball Field Improvements:**
 - Install dugouts with players benches
 - Install access walkways
 - Install field lighting utilizing cut-off shields to eliminate glare to adjacent residences
- 16** **Upper Playground Improvements:**
 - Consolidate equipment into one location
 - Install timber edgers
 - Install rubberized safety surface
 - Remove any equipment in disrepair
 - Install access walkways to playground

- 17** **Upper Picnic Grove Improvements:**
 - Re-organized parking and access road
 - Widen access roads to 15 feet
 - Access walkways and ramps
 - Remove Shelters # 1, #3, and #4
 - Construct Large Shelter (60' x 25') with enclosed kitchen.
 - Construct small Shelter (25' x 20')

- 18** **Upper Restroom Improvements:**
 - Repair structural problems
 - Replace outdated or malfunctioning water, sanitary sewer, or electric systems
 - Provide handicapped access
 - Improve exterior and interior as needed

- 19** **Amphitheater:**
 - Terraced lawn seating suitable for lawn chairs
 - Seating capacity 150-200 plus informal seating on surrounding hillside
 - Handicapped-accessible parking and walkway to front of stage
 - Concrete Stage with utility service
 - Trail access from proposed parking lot atop hill just north of existing adult baseball field

- ### Legend
- PROPOSED TRAIL
 - EXISTING PARK HIKING TRAIL
 - [Red Box] EXISTING BUILDING
 - [Red Box] PROPOSED BUILDING
 - PROPOSED TREELINE
 - [Green Circle] PROPOSED SHADE TREE
 - [Green Circle] PROPOSED ORNAMENTAL TREE
 - [Green Circle] PROPOSED EVERGREEN TREE
 - EXISTING ROADWAY/PARKING
 - PROPOSED ROADWAY/PARKING
 - PROPOSED PAVED WALKWAY
- 20** Create trail connection across hillside to picnic shelters and playground.
 - 21** **Skate Park:**
 - In-ground "bowl" (pending drainage issues)
 - Above-ground features: rails, grind boxes, etc. for tricks
 - Location provides easy visibility and accessibility
 - 10' chain-link fence enclosure
 - Proximity to swimming pool provides for ease of monitoring utilizing pool staff
 - 22** **Proposed Restroom (20' x 20):**
 - Men's, Women's plumbed restrooms
 - Central location to facilities in the northeastern part of the park
 - 23** **Upgrade existing Tennis Courts (2):**
 - Replace asphalt court surface
 - Repair fence as needed
 - Provide one 6-ft. players bench per court
 - Replace nets and posts
 - 24** Possible stream enclosure for expansion of sun bathing area will require an on-site meeting with DEP regarding permitting.
 - 25** Install 30-foot high safety netting atop fence on each side of existing adult ball field, extending 150 feet from back stop.
- * GENERAL PARK NOTE:**
 Bollards, decorative fencing, or other obstacles should be constructed along park roads to deter on-grass parking. Large "No Parking" signs should also be installed at intervals along lawn areas adjacent to park roads.
- Park rules should state the location of designated overflow parking areas.



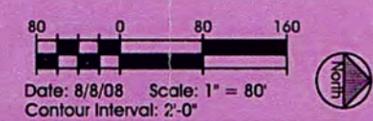
NOTES:

- 1) Property boundary information was taken from a Property Boundary Survey completed by William F. Hummel, PE and dated November 25, 1971. Partial topographic survey information was taken from an Existing Conditions Plan for Zelenople Community Park completed by James A. Sperdute, R.S., and dated April 8, 1956. Aerial photography was provided by DNR and the USGS through the PA MAP program. Additional site information was gathered through available Geographic Information Systems (GIS) data as well as through direct field observation by Pashek Associates in October 2007.
- 2) Locations of all site features and facilities are approximate. Pashek Associates makes no claims to the accuracy of utility locations or other facilities.

Zelenople Community Park Master Plan

Zelenople Borough
 Butler County, Pennsylvania

FINAL MASTER PLAN



PASHEK ASSOCIATES
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COST OPINION AND PHASING

Pashek Associates developed an opinion of probable construction costs for the proposed site improvements, based on the assumption that the implementation of the facilities will occur through a public bidding process, utilizing the Commonwealth of Pennsylvania's 2008 Prevailing Wage Rates. To budget for inflation of costs for future improvements, we recommend a four percent (4%) annual increase be budgeted for all work occurring after 2008.

In Pennsylvania, all projects over \$25,000 are required to use the State's Prevailing Wage Rates for Construction. However, volunteer labor, as well as donated equipment and materials, may reduce construction costs. The Borough may choose to construct some of the facilities utilizing volunteer and/or donated labor or materials. It is anticipated that this would also reduce the projected construction costs. Additionally, alternate sources of funding, including grant opportunities identified herein, may help to offset the expense to the Borough.

Based on these requirements, the opinion of probable construction cost to implement all of the improvements being proposed at Zellenople Community Park is summarized as follows:

- **Removals and Demolition:** Removal of selected existing pavilions and other structures, paving, play equipment, fencing, tee ball field, and obliteration of short sections of trails; relocation of selected existing play equipment and shelters.

Subtotal: \$ 172,128

- **Road and Circulation Improvements:** Earthwork, asphalt paving, milling and resurfacing, compacted aggregate walking paths, crosswalk striping, traffic signage, and split-rail fencing.

Subtotal: \$ 237,562

- **Main Parking Area:** Earthwork, asphalt paving, gravel paving, linestriping, and handicapped accessible parking signs.

Subtotal: \$ 151,178

- **Sports Courts:** Earthwork, basketball court surfacing, tennis court reconstruction, players benches, and chain-link fencing.

Subtotal: \$ 173,960

- **Ball Fields:** Earthwork, clearing and grubbing, replacement of underdrains, field lighting, fencing, clay infield, back stop, concrete block dugouts, concession stand / storage / restrooms building, foul ball safety netting, asphalt and gravel paving, evergreen screen plantings.

Subtotal: \$ 537,448

- Main Playground: Playground equipment, rubberized safety surface, aluminum edger, benches, and horseshoe courts.

Subtotal: \$ 178,968
- Skate Park: Earthwork, asphalt paving, skate equipment, chain-link fencing and gates, signage.

Subtotal: \$ 373,152
- Picnic Grove: Earthwork, picnic shelters, playground surfacing, amphitheater, asphalt and gravel paving, linestriping, accessible parking signs, directional signage, split-rail fence, and relocation of memorial trees.

Subtotal: \$ 613,512
- Trails: Earth-surface trails, trail signage at trailheads, trail markers.

Subtotal: \$ 7,204
- Maintenance Facility: Earthwork, maintenance garage / storage building, gravel paving, road gates, evergreen screen plantings.

Subtotal: \$ 202,180
- Restroom Upgrades: Renovation of existing restroom building, construction of proposed restroom building, asphalt paving, linestriping, and handicapped-accessible parking signs.

Subtotal: \$ 185,922
- Landscaping: Lawn seeding and deciduous shade tree plantings.

Subtotal: \$ 68,440
- Utilities: Water, Electric, and Sanitary Sewer Service extensions to proposed pavilions and restrooms throughout the park, and upgrades to existing utility lines (if necessary)

Subtotal: \$ 250,000
- Additional Costs: Permits, erosion and sediment control, stake-out, mobilization..

Subtotal: \$ 202,583
- Professional Services: Design, construction document preparation, and construction observation (Fee based on a percentage of park construction costs, including contingency).

Subtotal: \$ 252,132

- Construction Contingency: To allow unknown field conditions to be addressed during the course of construction (cost based on a percentage of park construction costs).

Subtotal: \$ 157,583

Total estimate of probable construction costs for Zellenople Community Park, in 2008 dollars, is **\$3,763,952**. Utilizing volunteer labor, donations of materials, and acquisition of grants, cost savings might be realized. We recommend that the Borough use Street Department Employees to construct various improvements at the park whenever feasible.

Zelienople Community Park

Master Plan and Pool Feasibility Study

PARK Opinion of Probable Construction Costs

Item No.	Item / Recommendation	Quantity	Unit	Unit Cost	Total Item Cost
1	Removals and Demolition				\$172,128
	Remove existing north restroom (near tennis courts)	1	LS	\$20,000	\$20,000
	Remove existing concessions stand / storage building (near youth ball field west of pool)	1	LS	\$20,000	\$20,000
	Remove existing Shelter #1	1	LS	\$10,000	\$10,000
	Remove existing Shelter #3	1	LS	\$15,000	\$15,000
	Remove existing Shelter #4	1	LS	\$15,000	\$15,000
	Remove existing Gazebo	1	LS	\$10,000	\$10,000
	Relocate existing Rapp Shelter	1	LS	\$15,000	\$15,000
	Relocate existing Mussig Shelter	1	LS	\$15,000	\$15,000
	Remove existing old tennis court paving (asphalt)	1757	SY	\$3	\$5,271
	Remove existing old tennis court fencing	503	LF	\$10	\$5,030
	Remove existing in-use tennis court paving (asphalt)	675	SY	\$3	\$2,025
	Remove existing in-use tennis court fencing	222	LF	\$10	\$2,220
	Remove existing basketball court paving (asphalt)	467	SY	\$3	\$1,401
	Remove existing basketball court fixtures (and retain for re-use)	1	LS	\$1,000	\$1,000
	Remove existing compacted aggregate / gravel trail surface	1160	SY	\$3	\$3,480
	Remove existing undersized basketball court paving (asphalt)	284	SY	\$3	\$852
	Remove existing undersized basketball court fixtures	1	LS	\$1,000	\$1,000
	Remove existing asphalt paving (parking lot)	4078	SY	\$3	\$12,234
	Remove existing paved walkways	181	SY	\$3	\$543
	Remove existing shade trees	6	EA	\$200	\$1,200
	Remove chain-link fencing at adult ball field	74	LF	\$10	\$740
	Remove tee-ball field (chain-link fencing, benches, bleachers, back stop)	1	LS	\$5,000	\$5,000

	Remove outdated playground equipment and relocate select play equipment to remain (picnic grove)	1	LS	\$5,000	\$5,000
	Remove outdated playground equipment and relocate select play equipment to remain (main playground)	1	LS	\$5,000	\$5,000
	Obliterate existing trails (re-grade, place logs as barriers, etc.)	0.1	Mile	\$1,320	\$132
2	Road and Circulation Improvements				\$237,562
	Earthwork	1500	CY	\$10	\$15,000
	Asphalt Paving (Heavy Duty - Roadway Expansion)	2937	SY	\$36	\$105,732
	Asphalt Milling and Resurfacing (Park Loop Road)	1170	SY	\$20	\$23,400
	Asphalt Speed Tables (includes linstripping, at all intersections and at intervals along loop road)	7	EA	\$2,000	\$14,000
	Compacted Aggregate Paving (access walks)	2585	SY	\$22	\$56,870
	Crosswalks Linstripping	1	LS	\$1,500	\$1,500
	Traffic Signage (Stop Signs, Do Not Enter Signs)	6	EA	\$250	\$1,500
	Split-rail Fence (vehicular barrier to lawn parking)	978	LF	\$20	\$19,560
3	Main Parking Area				\$151,178
	Earthwork	3700	CY	\$10	\$37,000
	Asphalt Paving (Heavy Duty - Accessible Parking Spaces)	283	SY	\$36	\$10,188
	Gravel Paving (parking lot)	3727	SY	\$22	\$81,994
	Asphalt Paving (Standard Duty - Walks)	453	SY	\$32	\$14,496
	Linstripping (accessible parking spaces)	1	LS	\$5,000	\$5,000
	Accessible Parking Signs (includes footing)	10	EA	\$250	\$2,500
4	Sports Courts				\$173,960
	Earthwork	250	CY	\$10	\$2,500
	Basketball Court Asphalt Base Course	662	SY	\$30	\$19,860
	Basketball Court Asphalt Color Coat	662	SY	\$10	\$6,620
	10-foot chain-link fence enclosure	220	LF	\$50	\$11,000
	5' wide chain-link pedestrian gate	1	LS	\$1,000	\$1,000
	Aluminum Players Benches (8' length, no backrest)	2	EA	\$600	\$1,200
	Tennis Courts Aggregate Base (8" depth)	1495	SY	\$44	\$65,780
	Tennis Court Asphalt Base Course	1495	SY	\$30	\$44,850

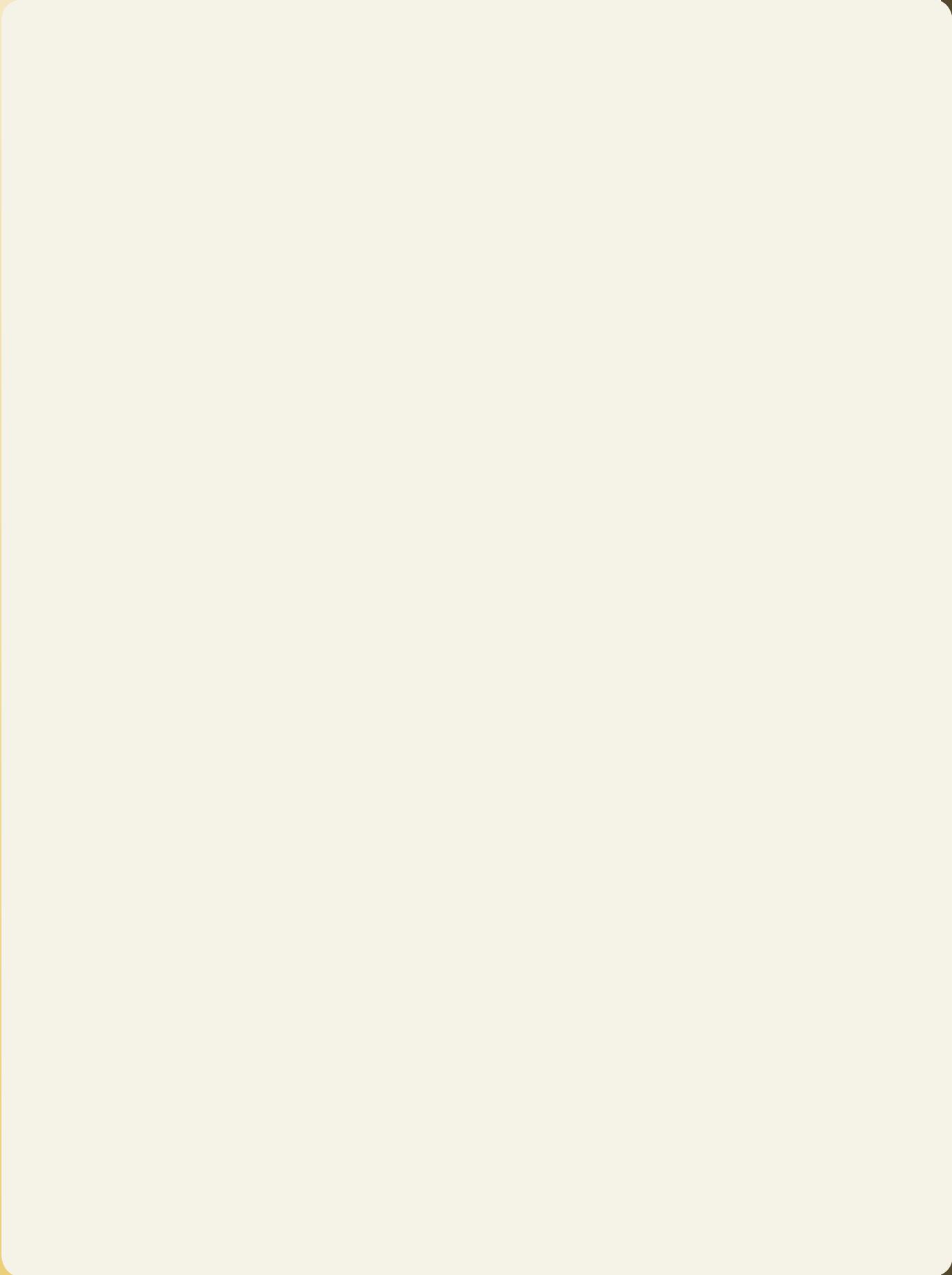
	Tennis Court Asphalt Color Coat	1495	SY	\$10	\$14,950
	Aluminum Players Benches (8' length, no backrest)	2	EA	\$600	\$1,200
	Re-paint Existing tennis net posts and chain-link fence	1	LS	\$5,000	\$5,000
5	Ball Fields				\$537,448
	Earthwork	4000	CY	\$10	\$40,000
	Clearing and Grubbing (trees, brush, and stumps)	0.9	AC	\$5,000	\$4,500
	Replacement of Underdrainage (existing adult ball field in northeastern part of park -- includes piping and inlets)	1	LS	\$15,000	\$15,000
	6' chain-link fencing (existing adult ball field in northeast part of park)	93	LF	\$40	\$3,720
	Field Lighting (Little League Baseball / Softball Field)	1	LS	\$120,000	\$120,000
	Underdrainage (Little League Baseball / Softball Field)	1	LS	\$4,000	\$4,000
	6' chain-link fencing (youth ball field west of pool)	390	LF	\$40	\$15,600
	Clay Infield Mix (6" depth, youth ball field west of pool)	120	CY	\$110	\$13,200
	Chain-link back stop (20' height, youth field west of pool)	1	EA	\$5,000	\$5,000
	Dugouts (concrete block, 8' x 25', with timber players benches)	2	EA	\$10,000	\$20,000
	Concessions Stand / Equipment storage / Plumbed Restroom building	1	LS	\$150,000	\$150,000
	Asphalt Paving (Heavy Duty - Accessible Parking Spaces)	207	SY	\$36	\$7,452
	Gravel Paving (parking lot @ youth field west of pool)	1043	SY	\$22	\$22,946
	Gravel Paving (parking lot @ adult ball field in southern part of park)	3713	SY	\$22	\$81,686
	Asphalt Paving (Standard Duty - Walks)	372	SY	\$32	\$11,904
	Linestriping (accessible parking spaces)	1	LS	\$4,000	\$4,000
	Accessible Parking Signs (includes footing)	8	EA	\$250	\$2,000
	Evergreen Screen Planting (shrubs 24" ht.)	18	EA	\$80	\$1,440
	30' height safety netting (150' along each fenceline extending from back stop, adult field in southern part of park)	1	LS	\$15,000	\$15,000
6	Main Playground				\$178,968
	Playground Equipment (climbing equipment, swings, etc.)	1	LS	\$100,000	\$100,000
	Rubberized safety surface	640	SY	\$100	\$64,000

	Aluminum Edger	484	LF	\$2	\$968
	Benches (8' long, with backrests)	10	EA	\$1,000	\$10,000
	Horseshoe Courts (metal pins, lawn infield, chain-link backstops)	2	EA	\$2,000	\$4,000
7	Skate Park				\$373,152
	Earthwork	1100	CY	\$10	\$11,000
	Asphalt Paving (Standard Duty)	1136	SY	\$32	\$36,352
	10' Chain-link fence enclosure	436	LF	\$50	\$21,800
	5' wide chain-link pedestrian gate	1	LS	\$1,000	\$1,000
	10' wide chain-link vehicular gate	1	LS	\$2,000	\$2,000
	Skate Equipment (steel frame with skatelite surfacing)	1	LS	\$300,000	\$300,000
	Skate Park Signage (Rules, Hours, etc.)	1	LS	\$1,000	\$1,000
8	Picnic Grove				\$613,512
	Earthwork	11300	CY	\$10	\$113,000
	Clearing and Grubbing (trees, brush, and stumps)	1.0	AC	\$5,000	\$5,000
	Small Picnic Shelter (20' x 25')	1	LS	\$30,000	\$30,000
	Picnic Shelter (60' x 25') with enclosed kitchen	1	LS	\$80,000	\$80,000
	Large Picnic Shelter (100' x 30') with enclosed kitchen and restrooms	1	LS	\$125,000	\$125,000
	Shredded Bark Mulch playground safety surface (12" depth)	163	SY	\$45	\$7,335
	Timber Edger for playground surface	155	LF	\$15	\$2,325
	Amphitheater (concrete stage with utilities, lawn terrace seating separated by stone walls)	1	LS	\$100,000	\$100,000
	Asphalt Paving (Heavy Duty - Accessible Parking Spaces)	281	SY	\$36	\$10,116
	Gravel Paving (access road and parking lots)	4573	SY	\$22	\$100,606
	Asphalt Paving (Standard Duty - Walks)	540	SY	\$32	\$17,280
	Linestriping (accessible parking spaces)	1	LS	\$6,000	\$6,000
	Accessible Parking Signs (includes footing)	12	EA	\$250	\$3,000
	Directional Signage (near playground)	1	EA	\$250	\$250
	Split-rail Fence (vehicular barrier to lawn parking)	580	LF	\$20	\$11,600
	Relocate Memorial Trees (near proposed parking along gravel access road north of adult ball field)	1	LS	\$2,000	\$2,000
9	Trails				\$7,204
	Earth-surface trails (3' width)	688	LF	\$1.75	\$1,204

	Trail Signage at Trailheads (includes trail rules, mapping, trail distances and difficulties, and dog waste bags)	1	LS	\$5,000	\$5,000
	Trail Markers at intervals and intersections along trail	1	LS	\$1,000	\$1,000
10	Maintenance Facility				\$202,180
	Earthwork	1900	CY	\$10	\$19,000
	Maintenance Building (1600 sf, with electric, plumbing, heat)	1	LS	\$150,000	\$150,000
	Gravel Paving (access road and materials storage area)	1150	SY	\$22	\$25,300
	Swinging Road Gate (20' wide steel piping)	2	EA	\$2,500	\$5,000
	Evergreen Screen Planting (shrubs 24" ht.)	36	EA	\$80	\$2,880
11	Restroom Upgrades				\$185,922
	Renovate existing south restroom (per Architectural Analysis Report recommendations, December 2007)	1	LS	\$80,000	\$80,000
	Proposed plumbed restroom building (northwestern portion of park)	1	LS	\$100,000	\$100,000
	Asphalt Paving (Heavy Duty - accessible parking areas)	83	SY	\$36	\$2,988
	Asphalt Paving (Standard Duty - Walks)	37	SY	\$32	\$1,184
	Linestriping	1	LS	\$1,000	\$1,000
	Accessible Parking Signs (includes footing)	3	EA	\$250	\$750
12	Landscaping				\$68,440
	Lawn Seeding	140.5	MSF	\$80	\$11,240
	Deciduous Shade Trees	143	EA	\$400	\$57,200
13	Utilities				\$250,000
	Water, Electric, and Sanitary Sewer Service extensions to proposed pavilions and restrooms throughout the park, and upgrades to existing utility lines (if necessary)	1	LS	\$250,000	\$250,000
<i>SUBTOTALS</i>					<i>\$3,151,654</i>
	Permitting	1	LS	\$15,000	\$15,000
	Mobilization	1	%	\$3,151,654	\$31,517
	Stake-Out	1	LS	\$30,000	\$30,000
	Erosion & Sedimentation Control Measures	4	%	\$3,151,654	\$126,066
	Professional Services (Design and Engineering Fees)	8	%	\$3,151,654	\$252,132
	Construction Contingency	5	%	\$3,151,654	\$157,583
<i>TOTAL</i>					<i>\$3,763,952</i>

** NOTES:

- 1) Estimates for utility extension lines are approximate. Zelienople Borough should consult qualified, experienced engineers for detailed utility design.



Phasing

Ideally, the Borough would construct all park improvements in one phase, minimizing construction activities, disruptions, and realizing “economies of scale” construction savings. However, few municipalities or organizations can afford to proceed in this manner and find it more appropriate to phase construction over a period of time.

Pashek Associates recommends that the improvements to Zellenople Community Park be constructed in a series of logical phases. Depending on the Borough’s financial situation and the success of grant writing efforts, this phasing plan may be expedited or lengthened.

Recognizing the Borough’s desire to construct improvements as quickly and efficiently as possible, we recommend that construction begin with the phases described in this section. Improvements not included in the initial phases are considered lower priorities that should be revisited upon completion of work described herein.

Phase #1 - \$ 799,408

Phase 1 construction at the park should include renovations to the upper (southern) restroom building, removal of existing shelters #1, #3, and #4, construction of two picnic shelters and parking in the picnic grove. Consolidation of playground equipment in the picnic grove should also be included in this phase, as well as lawn seeding, shade tree plantings, and installation of split-rail fence barriers at the picnic grove and elsewhere along the park road to prevent unauthorized lawn parking.

Phase #2 - \$ 510,378

Phase 2 focuses on road and parking improvements, restrooms, and additional picnic grove improvements. Work includes: development of the secondary park entrance / exit along with gravel parking north of the tennis courts; construction of additional parking in the upper (southern) picnic grove; the proposed restroom building in the northeastern part of the park; along with associated sidewalks and access paths, shade tree plantings, and lawn seeding.

Phase #3 - \$ 543,281

The third phase of construction should concentrate on completion of the proposed main parking area and road expansion, related sidewalks and access paths, adult ball field parking and foul ball safety netting, relocation of the basketball court, trail system improvements, shade tree plantings, and lawn seeding.

Phase #4 - \$ 542,736

Phase 4 will concentrate on redevelopment of the park’s main playground, including: relocation of the Rapp Shelter; replacement of playground equipment: installation of new equipment, safety surfacing, and edging; construction of horseshoe courts. This phase should also include

construction of the proposed large pavilion with enclosed kitchen and restrooms, in addition to resurfacing of the park loop road, underdrainage improvements at ball fields in the northwest corner of the park, shade tree plantings, and lawn seeding.

Phase #5 - \$ 485,791

The fifth phase of construction at the park centers on development of the skate park. Construction should include: earthwork; installation of skate park paving, fence enclosure, skate equipment; and lawn seeding.

Acquiring grants or other funding for the improvements listed in phases 1-5 may take several years. Those improvements are the highest priorities among the proposed improvements at Zelianople Community Park. Upon completion of the first five phases, lower priority improvements not included in phases 1-5 should be analyzed and re-prioritized.

Phasing Plan total cost opinions are summarized below, and are included in their entirety as part of this plan, along with the overall opinion of probable cost for proposed improvements to the park.

<i>Opinion of Probable Construction Costs - Phasing Plan Summary</i>					
AREA	Phase 1	Phase 2	Phase 3	Phase 4	Phase 5
Removals and Demolition	\$45,000	\$40,822	\$24,526	\$22,020	\$0
Road and Circulation Improvements	\$28,076	\$95,318	\$70,624	\$36,622	\$0
Main Parking Area	\$0	\$32,438	\$118,740	\$0	\$0
Sports Courts	\$0	\$0	\$42,180	\$0	\$0
Ball Fields	\$0	\$0	\$138,598	\$19,000	\$0
Main Playground	\$0	\$0	\$0	\$178,968	\$0
Skate Park	\$0	\$0	\$0	\$0	\$373,152
Picnic Grove	\$327,456	\$61,306	\$0	\$125,000	\$0
Trails	\$0	\$0	\$7,204	\$0	\$0
Maintenance Facility	\$0	\$0	\$0	\$0	\$0
Restroom Upgrades	\$82,658	\$103,264	\$0	\$0	\$0
Landscaping	\$10,800	\$11,240	\$20,400	\$15,200	\$400
Utilities	\$175,000	\$50,000	\$0	\$25,000	\$0
Additional Costs	\$43,450	\$64,719	\$66,114	\$66,091	\$63,678
Professional Services	\$53,519	\$31,551	\$33,782	\$33,745	\$29,884
Construction Contingency	\$33,450	\$19,719	\$21,114	\$21,091	\$18,678
Total	\$799,408	\$510,378	\$543,281	\$542,736	\$485,791

Zelienople Community Park

Master Plan - Phase 1

PARK Opinion of Probable Construction Costs

Item No.	Item / Recommendation	Quantity	Unit	Unit Cost	Total Item Cost
1	Removals and Demolition				\$45,000
	Remove existing Shelter #1	1	LS	\$10,000	\$10,000
	Remove existing Shelter #3	1	LS	\$15,000	\$15,000
	Remove existing Shelter #4	1	LS	\$15,000	\$15,000
	Remove outdated playground equipment and relocate select play equipment to remain (picnic grove)	1	LS	\$5,000	\$5,000
2	Road and Circulation Improvements				\$28,076
	Compacted Aggregate Paving (access walks)	778	SY	\$22	\$17,116
	Split-rail Fence (vehicular barrier to lawn parking)	548	LF	\$20	\$10,960
3	Picnic Grove				\$327,456
	Earthwork	8000	CY	\$10	\$80,000
	Clearing and Grubbing (trees, brush, and stumps)	1.0	AC	\$5,000	\$5,000
	Small Picnic Shelter (20' x 25')	1	LS	\$30,000	\$30,000
	Picnic Shelter (60' x 25') with enclosed kitchen	1	LS	\$80,000	\$80,000
	Shredded Bark Mulch playground safety surface (12" depth)	163	SY	\$45	\$7,335
	Timber Edger for playground surface	155	LF	\$15	\$2,325
	Asphalt Paving (Heavy Duty - Accessible Parking Spaces)	169	SY	\$36	\$6,084
	Gravel Paving (access road and parking lots)	3949	SY	\$22	\$86,878
	Asphalt Paving (Standard Duty - Walks)	312	SY	\$32	\$9,984
	Linestriping (accessible parking spaces)	1	LS	\$4,500	\$4,500
	Accessible Parking Signs (includes footing)	6	EA	\$250	\$1,500
	Directional Signage (near playground)	1	EA	\$250	\$250
	Split-rail Fence (vehicular barrier to lawn parking)	580	LF	\$20	\$11,600
	Relocate Memorial Trees (near proposed parking along gravel access road north of adult ball field)	1	LS	\$2,000	\$2,000

4 Restroom Upgrades					\$82,658
	Renovate existing south restroom (per Architectural Analysis Report recommendations, December 2007)	1	LS	\$80,000	\$80,000
	Asphalt Paving (Heavy Duty - accessible parking areas)	37	SY	\$36	\$1,332
	Asphalt Paving (Standard Duty - Walks)	18	SY	\$32	\$576
	Linestriping	1	LS	\$500	\$500
	Accessible Parking Signs (includes footing)	1	EA	\$250	\$250
5 Landscaping					\$10,800
	Lawn Seeding	40.0	MSF	\$80	\$3,200
	Deciduous Shade Trees	19	EA	\$400	\$7,600
6 Utilities					\$175,000
	Water, Electric, and Sanitary Sewer Service extensions to proposed pavilions, and upgrades to existing utility lines (if necessary)	1	LS	\$175,000	\$175,000
<i>SUBTOTALS</i>					<i>\$668,990</i>
	Permitting	1	LS	\$5,000	\$5,000
	Mobilization	1	%	\$668,990	\$6,690
	Stake-Out	1	LS	\$5,000	\$5,000
	Erosion & Sedimentation Control Measures	4	%	\$668,990	\$26,760
	Professional Services (Design and Engineering Fees)	8	%	\$668,990	\$53,519
	Construction Contingency	5	%	\$668,990	\$33,450
<i>TOTAL</i>					<i>\$799,408</i>

**** NOTES:**

1) Estimates for utility extension lines are approximate. Zelienople Borough should consult qualified, experienced engineers for detailed utility design.

Zelienople Community Park

Master Plan - Phase 2

PARK Opinion of Probable Construction Costs

Item No.	Item / Recommendation	Quantity	Unit	Unit Cost	Total Item Cost
1	Removals and Demolition				\$40,822
	Remove existing north restroom (near tennis courts)	1	LS	\$20,000	\$20,000
	Relocate existing Mussig Shelter	1	LS	\$15,000	\$15,000
	Remove existing compacted aggregate / gravel trail surface	162	SY	\$3	\$486
	Remove existing asphalt paving (parking lot)	112	SY	\$3	\$336
	Remove tee-ball field (chain-link fencing, benches, bleachers, back stop)	1	LS	\$5,000	\$5,000
2	Road and Circulation Improvements				\$95,318
	Earthwork	500	CY	\$10	\$5,000
	Asphalt Paving (Heavy Duty - Roadway Expansion)	1362	SY	\$36	\$49,032
	Asphalt Speed Tables (includes linestriping, at all intersections and at intervals along loop road)	3	EA	\$2,000	\$6,000
	Compacted Aggregate Paving (access walks)	1088	SY	\$22	\$23,936
	Crosswalks Linestriping	1	LS	\$1,500	\$1,500
	Traffic Signage (Stop Signs, Do Not Enter Signs)	5	EA	\$250	\$1,250
	Split-rail Fence (vehicular barrier to lawn parking)	430	LF	\$20	\$8,600
3	Main Parking Area				\$32,438
	Earthwork	1000	CY	\$10	\$10,000
	Asphalt Paving (Heavy Duty - Accessible Parking Spaces)	76	SY	\$36	\$2,736
	Gravel Paving (parking lot)	642	SY	\$22	\$14,124
	Asphalt Paving (Standard Duty - Walks)	104	SY	\$32	\$3,328
	Linestriping (accessible parking spaces)	1	LS	\$1,500	\$1,500
	Accessible Parking Signs (includes footing)	3	EA	\$250	\$750
4	Picnic Grove				\$61,306
	Earthwork	3300	CY	\$10	\$33,000
	Asphalt Paving (Heavy Duty - Accessible Parking Spaces)	112	SY	\$36	\$4,032

	Gravel Paving (access road and parking lots)	624	SY	\$22	\$13,728
	Asphalt Paving (Standard Duty - Walks)	228	SY	\$32	\$7,296
	Linestriping (accessible parking spaces)	1	LS	\$1,500	\$1,500
	Accessible Parking Signs (includes footing)	6	EA	\$250	\$1,500
	Directional Signage (near playground)	1	EA	\$250	\$250
5	Restroom Upgrades				\$103,264
	Proposed plumbed restroom building (northwestern portion of park)	1	LS	\$100,000	\$100,000
	Asphalt Paving (Heavy Duty - accessible parking areas)	46	SY	\$36	\$1,656
	Asphalt Paving (Standard Duty - Walks)	19	SY	\$32	\$608
	Linestriping	1	LS	\$500	\$500
	Accessible Parking Signs (includes footing)	2	EA	\$250	\$500
6	Landscaping				\$11,240
	Lawn Seeding	20.5	MSF	\$80	\$1,640
	Deciduous Shade Trees	24	EA	\$400	\$9,600
7	Utilities				\$50,000
	Water, Electric, and Sanitary Sewer Service extensions to proposed restroom and relocated pavilion	1	LS	\$50,000	\$50,000
<i>SUBTOTALS</i>					<i>\$394,388</i>
	Permitting	1	LS	\$15,000	\$15,000
	Mobilization	1	%	\$394,388	\$3,944
	Stake-Out	1	LS	\$30,000	\$30,000
	Erosion & Sedimentation Control Measures	4	%	\$394,388	\$15,776
	Professional Services (Design and Engineering Fees)	8	%	\$394,388	\$31,551
	Construction Contingency	5	%	\$394,388	\$19,719
<i>TOTAL</i>					<i>\$510,378</i>

** NOTES:

1) Estimates for utility extension lines are approximate. Zelienople Borough should consult qualified, experienced engineers for detailed utility design.

Zelienople Community Park

Master Plan - Phase 3

PARK Opinion of Probable Construction Costs

Item No.	Item / Recommendation	Quantity	Unit	Unit Cost	Total Item Cost
1	Removals and Demolition				\$24,526
	Remove existing Gazebo	1	LS	\$10,000	\$10,000
	Remove existing old tennis court paving (asphalt)	1757	SY	\$3	\$5,271
	Remove existing old tennis court fencing	503	LF	\$10	\$5,030
	Remove existing basketball court paving (asphalt)	467	SY	\$3	\$1,401
	Remove existing basketball court fixtures (and retain for re-use)	1	LS	\$1,000	\$1,000
	Remove existing compacted aggregate / gravel trail surface	164	SY	\$3	\$492
	Remove existing shade trees	6	EA	\$200	\$1,200
	Obliterate existing trails (re-grade, place logs as barriers, etc.)	0.1	Mile	\$1,320	\$132
2	Road and Circulation Improvements				\$70,624
	Earthwork	1000	CY	\$10	\$10,000
	Asphalt Paving (Heavy Duty - Roadway Expansion)	1575	SY	\$36	\$56,700
	Compacted Aggregate Paving (access walks)	167	SY	\$22	\$3,674
	Traffic Signage (Stop Signs, Do Not Enter Signs)	1	EA	\$250	\$250
3	Main Parking Area				\$118,740
	Earthwork	2700	CY	\$10	\$27,000
	Asphalt Paving (Heavy Duty - Accessible Parking Spaces)	207	SY	\$36	\$7,452
	Gravel Paving (parking lot)	3085	SY	\$22	\$67,870
	Asphalt Paving (Standard Duty - Walks)	349	SY	\$32	\$11,168
	Linestriping (accessible parking spaces)	1	LS	\$3,500	\$3,500
	Accessible Parking Signs (includes footing)	7	EA	\$250	\$1,750
4	Sports Courts				\$42,180
	Earthwork	250	CY	\$10	\$2,500
	Basketball Court Asphalt Base Course	662	SY	\$30	\$19,860

	Basketball Court Asphalt Color Coat	662	SY	\$10	\$6,620
	10-foot chain-link fence enclosure	220	LF	\$50	\$11,000
	5' wide chain-link pedestrian gate	1	LS	\$1,000	\$1,000
	Aluminum Players Benches (8' length, no backrest)	2	EA	\$600	\$1,200
5	Ball Fields				\$138,598
	Earthwork	2000	CY	\$10	\$20,000
	Clearing and Grubbing (trees, brush, and stumps)	0.9	AC	\$5,000	\$4,500
	Asphalt Paving (Heavy Duty - Accessible Parking Spaces)	140	SY	\$36	\$5,040
	Gravel Paving (parking lot @ adult ball field in southern part of park)	3713	SY	\$22	\$81,686
	Asphalt Paving (Standard Duty - Walks)	246	SY	\$32	\$7,872
	Linestriping (accessible parking spaces)	1	LS	\$3,000	\$3,000
	Accessible Parking Signs (includes footing)	6	EA	\$250	\$1,500
	30' height safety netting (150' along each fenceline extending form back stop, adult field in southern part of park)	1	LS	\$15,000	\$15,000
6	Trails				\$7,204
	Earth-surface trails (3' width)	688	LF	\$1.75	\$1,204
	Trail Signage at Trailheads (includes trail rules, mapping, trail distances and difficulties, and dog waste bags)	1	LS	\$5,000	\$5,000
	Trail Markers at intervals and intersections along trail	1	LS	\$1,000	\$1,000
7	Landscaping				\$20,400
	Lawn Seeding	25.0	MSF	\$80	\$2,000
	Deciduous Shade Trees	46	EA	\$400	\$18,400
SUBTOTALS					\$422,272
	Permitting	1	LS	\$15,000	\$15,000
	Mobilization	1	%	\$422,272	\$4,223
	Stake-Out	1	LS	\$30,000	\$30,000
	Erosion & Sedimentation Control Measures	4	%	\$422,272	\$16,891
	Professional Services (Design and Engineering Fees)	8	%	\$422,272	\$33,782
	Construction Contingency	5	%	\$422,272	\$21,114
TOTAL					\$543,281

Zelienople Community Park

Master Plan - Phase 4

PARK Opinion of Probable Construction Costs

Item No.	Item / Recommendation	Quantity	Unit	Unit Cost	Total Item Cost
1	Removals and Demolition				\$22,020
	Relocate existing Rapp Shelter	1	LS	\$15,000	\$15,000
	Remove existing compacted aggregate / gravel trail surface	56	SY	\$3	\$168
	Remove existing undersized basketball court paving (asphalt)	284	SY	\$3	\$852
	Remove existing undersized basketball court fixtures	1	LS	\$1,000	\$1,000
	Remove outdated playground equipment and relocate select play equipment to remain (main playground)	1	LS	\$5,000	\$5,000
2	Road and Circulation Improvements				\$36,622
	Asphalt Milling and Resurfacing (Park Loop Road)	1170	SY	\$20	\$23,400
	Asphalt Speed Tables (includes linestriping, at all intersections and at intervals along loop road)	4	EA	\$2,000	\$8,000
	Compacted Aggregate Paving (access walks)	226	SY	\$22	\$4,972
	Traffic Signage (Stop Signs, Do Not Enter Signs)	1	EA	\$250	\$250
3	Ball Fields				\$19,000
	Replacement of Underdrainage (existing adult ball field in northeastern part of park -- includes piping and inlets)	1	LS	\$15,000	\$15,000
	Underdrainage (Little League Baseball / Softball Field)	1	LS	\$4,000	\$4,000
4	Main Playground				\$178,968
	Playground Equipment (climbing equipment, swings, etc.)	1	LS	\$100,000	\$100,000
	Rubberized safety surface	640	SY	\$100	\$64,000
	Aluminum Edger	484	LF	\$2	\$968
	Benches (8' long, with backrests)	10	EA	\$1,000	\$10,000
	Horseshoe Courts (metal pins, lawn infield, chain-link backstops)	2	EA	\$2,000	\$4,000

5	Picnic Grove				\$125,000
	Large Picnic Shelter (100' x 30') with enclosed kitchen and restrooms	1	LS	\$125,000	\$125,000
6	Landscaping				\$15,200
	Lawn Seeding	25.0	MSF	\$80	\$2,000
	Deciduous Shade Trees	33	EA	\$400	\$13,200
7	Utilities				\$25,000
	Water, Electric, and Sanitary Sewer Service extensions to relocated pavilion	1	LS	\$25,000	\$25,000
<i>SUBTOTALS</i>					<i>\$421,810</i>
	Permitting	1	LS	\$15,000	\$15,000
	Mobilization	1	%	\$421,810	\$4,218
	Stake-Out	1	LS	\$30,000	\$30,000
	Erosion & Sedimentation Control Measures	4	%	\$421,810	\$16,872
	Professional Services (Design and Engineering Fees)	8	%	\$421,810	\$33,745
	Construction Contingency	5	%	\$421,810	\$21,091
<i>TOTAL</i>					<i>\$542,736</i>

** NOTES:

1) Estimates for utility extension lines are not included in this Cost Estimate. Zelienople Borough should consult qualified engineers with experience in utility design to acquire cost estimates for utility work.

Zelienople Community Park

Master Plan - Phase 5

PARK Opinion of Probable Construction Costs

Item No.	Item / Recommendation	Quantity	Unit	Unit Cost	Total Item Cost
1	Skate Park				\$373,152
	Earthwork	1100	CY	\$10	\$11,000
	Asphalt Paving (Standard Duty)	1136	SY	\$32	\$36,352
	10' Chain-link fence enclosure	436	LF	\$50	\$21,800
	5' wide chain-link pedestrian gate	1	LS	\$1,000	\$1,000
	10' wide chain-link vehicular gate	1	LS	\$2,000	\$2,000
	Skate Equipment (steel frame with skatelite surfacing)	1	LS	\$300,000	\$300,000
	Skate Park Signage (Rules, Hours, etc.)	1	LS	\$1,000	\$1,000
2	Landscaping				\$400
	Lawn Seeding	5.0	MSF	\$80	\$400
<i>SUBTOTALS</i>					<i>\$373,552</i>
	Permitting	1	LS	\$15,000	\$15,000
	Mobilization	1	%	\$373,552	\$3,736
	Stake-Out	1	LS	\$30,000	\$30,000
	Erosion & Sedimentation Control Measures	4	%	\$373,552	\$14,942
	Professional Services (Design and Engineering Fees)	8	%	\$373,552	\$29,884
	Construction Contingency	5	%	\$373,552	\$18,678
<i>TOTAL</i>					<i>\$485,791</i>

** NOTES:

1) Estimates for utility extension lines are not included in this Cost Estimate. Zelienople Borough should consult qualified engineers with experience in utility design to acquire cost estimates for utility work.

CHAPTER 3:

Swimming Pool Feasibility Study Recommendations

INTRODUCTION

Families today are placing greater demands on local communities than ever before for recreational facilities and programs. People's expectations for quality facilities and services are at an all time high. There is little differentiation in expectation whether a facility is operated as a municipal, nonprofit, or private entity.

These changes have a direct impact on those park and recreation facilities that have not been modified to meet the changing needs.

The purpose of this study is to determine whether improvements can be made to the Zelienople Swimming Pool facility and its management to better meet the demands of local residents, provide a safer and more user-friendly facility, and increase revenues to off-set expenses.

The swimming pool facility consists of a bathhouse, concession stand, main pool, wading pool, filter building, concrete decking, perimeter fencing and lawn sunbathing area. The original pool facility was constructed in 1956. Since that time, the wading pool was reconstructed, the filter and chemical systems for the wading pool were installed, and an addition was added to the main pool in 1966.

The main pool comprises a water surface area of approximately 5,259 square feet and a volume of approximately 231,000 gallons. The pool shell is constructed of poured concrete floor and walls. The pool ranges in depth from three feet in the shallow area to approximately twelve feet in the deep end.

The wading pool has a water surface area of approximately 800 square feet and a volume of approximately 2,800 gallons.

The pool serves the Borough of Zelienople and surrounding municipalities. It is operated by the Zelienople Community Park Association.

FACILITY ANALYSIS

Swimming Pool Assessment

The facility analysis analyzes the existing condition of the swimming pool structure, and compares the size of the pool with community needs. Wade Associates of Harrisburg, PA, conducted the facility assessment. A summary of the assessment is included in this section of the report with the complete analysis in the appendix.

The structural assessment was conducted to determine the structural integrity of the pool and to compare it to current swimming pool construction standards. The following chart summarizes facility deficiencies found in this analysis.

Summary of Facility Findings at the Zelianople Swimming Pool

<i>Problem</i>	<i>Solution</i>	<i>Other Options and Comments</i>
<i>Main Pool</i>		
Leaking Sometimes losing 2"-3" of water per day.	Conduct a pressure test of the drain, skimmer, and filtered water return piping.	These tests should be conducted prior to undertaking other renovations.
Shell Years of paint and deterioration	Sandblast to remove all existing paint; repair cracks, reconstruct joints, re-coat surfaces with paint or plaster.	Two options are available on how to reconstruct the joints. Two options are also available on re-coating/ painting the pool.
Diving Area The depth and slope floor does not meet current Code requirements for diving areas. Currently no diving boards are installed at the pool but two drop tube slides are installed in the deep end. The slides require a water depth of 7', which does not exist at the location at which they enter the water.	There are four options	1) Leave existing depth with no diving boards and no slides. 2) Move the slides closer to the deep area of the pool where it is a minimum of 7' deep 3) Deepen the area to meet current standards for diving. 4) Shallow the area to six or seven feet and use for general swimming and the slides.
Coping Coping on the original section of the pool is extremely deteriorated	Remove and replace	To be consistent around the entire pool, the coping in the newer section of the pool should also be removed and replaced.
Filtered Water Return Piping The filtered water return piping does not meet the current Code. This may also be the source of part of the water leak.	Remove the curb and install a new return system.	
Main Drain Only one drain exists. Two anti-vortex drains are required.	Install two new fiberglass drain boxes.	
Skimmers Existing skimmer holes do not meet current Code requirements.	Remove and replace with a new code compliant skimmer system.	
Circulation System The exact size and material of the perimeter recirculation piping is not known. This piping may be part of the source of the water leaks.	Replace all recirculation piping (return lines, skimmers, and drain lines) with PVC.	This will require the removal and replacement of at least three to four feet of concrete surrounding the pool perimeter and into the filter building.

Summary of Facility Findings at the Zellenople Swimming Pool

<i>Problem</i>	<i>Solution</i>	<i>Other Options and Comments</i>
<p>Filtration System The currently used vacuum diatomaceous earth (DE) is the most efficient type of filtration system. However, the top elevation of the filter tank is approximately 18" about the top elevation of the pool water. This presents a balancing problem and is inefficient. The piping in the filter room is a mix of PVC and cast iron and the valves are all cast iron.</p>	<p>Remove the existing filter tank and excavate to the appropriate level. Install a new concrete tank. This will allow for gravity flow from the pool to the tank</p> <p>Replace all piping with PVC and all valves with CPVC.</p>	<p>An alternative filtration option would be to install a sand system. A sand system requires a larger recirculation pump and discharges considerably more waste water during the cleaning process, making it more costly to operate.</p>
<p>Chemical System The pool currently uses chlorine tablets for water disinfection. This is the least efficient of the chlorination systems. There is no automated chemical control to maintain chlorine and pH levels. Muratic acid is used for pH correction. It is a harsh chemical that can pose safety concerns.</p>	<p>Install a liquid chlorine system with a bulk storage tank. This will significantly improve efficiency and safety.</p> <p>Install a new automated chemical feed system.</p> <p>Convert to a carbon dioxide system for pH correction.</p>	
<p>Wading Pool Has the same structure needs as the main pool for sandblasting and recoating. Also has the same chemical system needs.</p>	<p>Same structural changes as the main pool.</p> <p>Same chemical system changes as the main pool.</p>	
<p>Concrete Deck Cracked and uneven. There are visible signs of settlement.</p>	<p>Completely remove and replace all concrete deck and install a drainage system.</p>	
<p>Pool Fencing Some of the perimeter fencing is in need of repair. There is no barrier between the bathhouse exits and the deep end of the pool.</p>	<p>Repair the necessary spots and paint the fence.</p> <p>Install a fence to separate the bathhouse from the pool and funnel users to the shallow end of the pool.</p>	
<p>ADA The pool does not currently meet accessibility standards for direct access into the water.</p>	<p>Convert a portion of the pool to zero depth entry.</p>	<p>Install a ramp access into the shallow area of the pool.</p>
<p>Bathhouse See separate evaluation</p>		

The physical and mechanical analysis conducted by Wade Associates provides the following estimate of probable construction costs for basic rehabilitation of the existing swimming pool.

Cost estimates are based on 2008 publicly bid, prevailing wage projects.

Estimated Costs for Basic Renovations		
<u>Main Pool</u>		
a)	Bonding and Mobilization	\$11,000
b)	Site Preparation and Pool Demolition	\$18,000
c)	Sandblasting/Patching	\$26,000
d)	Preparation and Plastering	\$38,500
e)	New Return Fittings	\$12,500
f)	New Skimmers	\$14,400
g)	New Drains and Pipe	\$21,000
h)	New Skimmers and Return Perimeter Piping	\$48,000
i)	Reconstruction of Expansion Joints	\$11,600
j)	New Ceramic Tile Work	\$31,000
k)	New Filter and Chemical System	\$84,000
l)	New Concrete Deck and Drain	\$72,000
m)	New Handicap Lift	\$6,000
n)	New Pool Coping	<u>\$27,000</u>
	Sub-Total	\$421,000
<u>Wading Pool</u>		
a)	Sandblasting and Patching	\$4,000
b)	Preparation and Plastering	\$5,200
c)	Ceramic Tile Work	\$7,800
d)	Chemical System Work	<u>\$6,800</u>
	Sub-Total	\$23,800
	<u>Overhead, Profit and Contingency</u>	90,000.00
	TOTAL NECESSARY RENOVATIONS	\$ 534,800.00

Desired Swimming Pool Amenities and Additional Site Considerations

As the Borough looks to invest significant dollars into rehabilitation of the Zellenople Swimming Pool, it must be considered that the pool is over fifty years old. The structural analysis of the pool indicates with no uncertainty that the pool structure can be rehabilitated as indicated above. However, it is important to realize that recreational trends have changed since the pool was constructed in the 1950's. Today's swimmers are looking for much more than just a basic swimming pool. If it is the Borough's desire to meet the swimming needs of its residents, a number of changes should be considered in the pool.

The Public Input section of this document details a number desired amenities the residents of the area would like to see included at the pool. They include

- Tables with umbrellas
- A large water slide
- Zero depth entry area
- Water play areas with equipment
- Warm water in the pool

Additionally, residents indicated that the facilities that currently exist at the pool that are important to them include the lounge chairs, concession stand, kiddie pool, and the slides.

Maintaining these existing facilities and adding the specified new ones will provide a good balance of use in meeting the needs of a variety of styles of swimming. The water play area will likely be the most popular area in the pool; it will serve young children and parents. The slides are popular with most anyone who can swim. The general swimming area will serve those who swim for exercise or fun.

Zero Depth Entry

The zero depth entry creates a beach-like access to the pool. This makes the shallowest water at a zero depth that increases to 2 feet within the shallow area of the pool. The zero depth area would be an extension of the existing pool and will include the water play area for young children. The zero depth entry provides easy access for persons of all ages and abilities, and allows the pool to comply with ADA standards.

Water Play Area

A portion of the zero depth area of the pool would be constructed at about 2' deep to install a variety of interactive water play equipment. This equipment would be designed for young children. The location at the shallow end of the pool makes it appropriate for young children and places it in a location that is easy for parents to observe their children.

General Purpose Area

The general-purpose area would range from three to five feet deep and is designed for general use by swimmers of all ages. This area would be rectangular in shape to provide the largest amount of room within the pool and the greatest degree of flexibility in its use. It will also include three existing lap lanes for fitness and exercise.

Flume Slide and Tube Slide Area

The former diving area of the pool would be reduced to a depth of seven feet to provide for an access area for the slides. The flume slide would be approximately twenty feet high and one hundred fifty feet in length. The existing tube slides would remain in their current location.

Pool Heater and Cover

One of the most common complaints concerning the pool is the cold water. Warmer water can significantly increase the use of the pool. The addition of a water heater and pool cover can warm the water and maintain a temperature that is desirable to most patrons.

Additional Beach Area

At the present time, there is very little level beach area around the pool. Most areas outside the pool are concrete decking or steep hillsides. This leads to a feeling by patrons that the area is always too crowded. This problem will be addressed by moving the northern perimeter fence twenty feet from its current location toward Beaver Street. Some accommodations will need to be made to maintain the existing waterway that flows in that area. DEP will need to be consulted to determine the best method of ensuring proper runoff through that stream. The area will be seeded to create a new grassy beach.

Shade

Shade structures could be included to address patron safety and desire. We propose to construct one pavilion at the northwest corner of the new beach area. The existing shelter near the concession area would remain.

In addition to the pavilions, we propose that umbrella tables be located at various places around the pool. This allows for smaller groups to have more privacy in using the shaded areas.

Estimated Costs for Swimming Pool Renovations with Amenities and Site Improvements

To renovate the existing swimming pool, with all of the amenities and site improvements (not including building renovations) recommended in this study, it would cost approximately \$1,015,640.

The following chart details the costs associated with renovations to the swimming pool with the addition of these amenities and site improvements.

**Zelienople Swimming Pool
Cost Estimates for Rehabilitation**

Main Pool

a) Bonding and Mobilization	\$11,000
b) Site Preparation and Pool Demolition	\$18,000
c) Sandblasting/Patching	\$26,000
d) Preparation and Plastering	\$38,500
e) New Return Fittings	\$12,500
f) New Skimmers	\$14,400
g) New Drains and Pipe	\$21,000
h) New Skimmers and Return Perimeter Piping	\$48,000
i) Reconstruction of Expansion Joints	\$11,600
j) New Ceramic Tile Work	\$31,000
k) New Filter and Chemical System	\$84,000
l) New Concrete Deck and Drain	\$72,000
m) New Handicap Lift	\$6,000
n) New Pool Coping	<u>\$27,000</u>
 Sub-Total	 \$421,000

Wading Pool

a) Sandblasting and Patching	\$4,000
b) Preparation and Plastering	\$5,200
c) Ceramic Tile Work	\$7,800
d) Chemical System Work	<u>\$6,800</u>
 Sub-Total	 \$23,800

<u>Overhead, Profit and Contingency</u>	<u>90,000.00</u>
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TOTAL NECESSARY RENOVATIONS	<u>\$ 534,800.00</u>
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Additional Features

a) Zero-Depth Access to Main Pool	\$150,000
b) Zero-Depth Access to Wading Pool	\$21,000

c)	Larger Open Tube Slide at Main Pool	\$100,000
d)	Water Playground Equipment	
	Main Pool	\$60,000
	Wading Pool	\$25,000
e)	Winterization Covers	
	Main Pool	\$18,240
	Wading Pool	\$3,100
f)	Main Pool Heater	\$16,500
g)	Shallow diving well	\$36,000
h)	Pool Lighting Upgrades	\$34,000
i)	Lawn Expansion	\$17,000
	Total Additional Features for Option A	<u>\$480,840</u>
	Total Renovations and Upgrades	<u>\$1,015,640</u>

Comparison to Building a New Swimming Pool without Amenities

Based on the facility analysis of the Zelianople Swimming Pool, demolition of the existing pool and replacement with a new one was considered as an option. However, the of cost building a new pool in comparison to upgrading the existing pool makes the latter more feasible. The construction of a basic rectangular shaped swimming pool of 5,200 square feet would cost approximately \$975,000. This type of pool would not include any of the additional amenities proposed for the Zelianople pool. Addition of such amenities, and upgrades to the pool's buildings would drive the cost of new construction to between \$1.6 and \$2.2 million.

Building Analysis

RSSC Architecture performed a site investigation of the existing Bathhouse facility at the pool. The following is a summary of their findings. Their complete findings are located in the appendix of this report.

The building consists of a check-in area, a lifeguard room, a men's locker room, a women's locker room, a storage/pantry area and a concession area. The bathhouse area (minus the pantry area) is 1,570 SF and the concession area including the pantry is 410 SF for a total of 1,980 SF. The main check-in area and circulation paths through the bathhouse meet the required clearances for ADA accessibility.

The majority of the exterior walls are constructed of a single wythe of 8" concrete block with the poolside wall consisting of wood framing with corrugated cement asbestos panels. The entrance way has a brick veneer facing surrounding the overhead door opening. The roof framing consists of wood trusses at 4'-0" on center with wood purlins fastened to the top chord of the truss at 2'-0" on center. This framing system is supported by wood beams and columns that are fastened

to the top of the masonry walls or to the top of the foundation wall at the wood framed wall. The overall structure is in good condition with no observable failures or settlement cracks. The interior walls consist of both 8" and 6" concrete block and only go to a height of 6'-8" or 6'-10".

The roofing material on top of the purlins consists of opaque corrugated cement asbestos panels and translucent corrugated fiberglass panels. Portions of the surface material on the roof ridge vent cover were observed to be missing or have been painted or patched. The fascia and rake trim boards are wood with the soffit areas consisting of the roof truss extensions and the underside of the corrugated roofing. Between the top of the walls and the roof beams are wood louvers that provide natural ventilation for the building. The block, roof framing, louvers and fascia, and the vertical corrugated siding are painted. A majority of the paint is in good condition on the interior and exterior with only the bottom areas closest to the ground or walks that have weathered and could be re-painted.

The overhead garage doors operate properly and are in good condition. The half door at the lifeguard office has lever hardware, but also has water damage at the bottom of the door where rusting is occurring. The door into the concession area is in good condition. The security gates/doors are steel bars and frames, in good condition, held shut with cotter pins or keyed locks on the latch side. There are no windows except for window screens in front of the garage doors at the concession area. The counter height at the concession openings are at 3'-1" above the finished grade, which is higher than the ADA allowable 2'-10".

The interior floor has non-slip flooring material, which is in fair condition with no observable failures or cracks, but is showing some wear and accumulation of dirt. There are some construction/control joints around the shower and toilet fixture areas that have fiberboard material slightly protruding above the floor surface. We recommend routing out a portion of this material and installing a joint sealant. The applied finish flooring in the concession area is in poor condition, very splotchy, with about a third of the top color removed. The countertop at the main check-in is in good condition and is mounted on top of the half height masonry wall at 3'-9" AFF. A portion of this counter should be at the ADA required height of 2'-10".

Men's Locker Area - Summary of the plumbing fixtures, toilet partitions & accessories:

- Two showerheads are provided, with ball valves to control the water flow. The lever handles to operate the valves meet ADA requirements and are within the allowed reach range of 48" AFF. One of the showerheads has the required ADA clear floor space, but does not have the required bench seating.
- The water closet fixture is in good condition and the size of the accessible stall meet the ADA requirements, but the placement of the fixture from the wall (21" to the centerline of the fixture is three inches greater than the allowed maximum of 18"), the installation of the grab bars (they are reversed, the 36" long bar should go behind the toilet)(also current standards require an additional vertical grab bar), the location of the toilet paper dispenser and the location of the sanitary vent stack (it interferes with the grab bar) do not meet the ADA accessibility standards.
- The painted metal toilet partition is in fair condition with the bottom edge of the partition and the door completely rusted. The door swings in the proper direction and has the proper latch,

but is not self-closing which is required.

- The urinals are in good condition, are accessible fixtures and have the proper floor clearance, but the one fixture is mounted 7" too high at the rim and doesn't have the proper flush mechanism (either a lever or automatic).
- The lavatory is in good condition, is an accessible fixture and is mounted at the correct height. However the centerline of the fixture is five inches too close to the sidewall (10" versus the required 15") and the faucet does not meet accessibility standards (lever or automatic operation). The paper towel dispenser is in poor condition, with rust, and is mounted at the incorrect height (50" versus the maximum 48"). There is no mirror above the sink.
- The wall mounted stainless steel mirror by the lockers is in good condition and meets the ADA standards.
- The metal lockers are in operable condition with some rust on all the doors and at the bottom flange resting on the floor. The latch on the individual locker would meet the accessibility requirements for operation and the required clearance is provided in front of the locker.
- The countertop is in good condition, at 3'-4" above the finished floor, which is above the allowable reach limit of 2'-10" for ADA accessibility.

Women's Locker Area - Summary of the plumbing fixtures, toilet partitions & accessories:

- Two showerheads are provided, with ball valves to control the water flow. The lever handles to operate the valves meet ADA requirements and are within the allowed reach range of 48" AFF. One of the showerheads has the required ADA clear floor space, but does not have the required bench seating.
- The water closet fixtures are in good condition. The regular stalls are of sufficient size with toilet paper dispensers. The ADA accessible stall (6'-3" wide by 4'-7.5" deep) does not provide the required ADA clearances (5'-0" wide by 4'-11" deep for a floor mounted fixture), the centerline of the fixture is 24" from the wall (6" greater than the maximum 18"), the grab bars are installed reversed (the 36" long bar should go behind the toilet)(also current standards require an additional vertical grab bar) and the location of the toilet paper dispenser is too far from the front of the fixture (7"-9" max.).
- The painted metal toilet partitions are in fair condition with the bottom edge of the partition and the door completely rusted. The door swings in the proper direction and has the proper latch, but is not self-closing which is required. The metal partitions utilized for changing rooms are in fair condition, with some damage at the top hinge of the doors where they have been bent. Rusting at the bottom edge of the panels also occurs. Only one of the areas provides the proper ADA floor area clearances.
- The lavatory is in good condition, is an accessible fixture and is mounted at the correct height. However the faucet does not meet accessibility standards (lever or automatic operation). The paper towel dispenser is in poor condition, with rust, and is mounted at the incorrect height (50" versus the maximum 48"). There is no mirror above the sink.
- The wall mounted stainless steel mirror by the lockers is in good condition and meets the ADA standards.
- The metal lockers are in operable condition with some rust on all the doors and at the bottom flange resting on the floor. The latch on the individual locker would meet the accessibility requirements for operation and the required clearance is provided in front of the locker.
- The countertop is in good condition, at 3'-4" above the finished floor, which is above the

allowable reach limit of 2'-10" for ADA accessibility.

The building is neither heated nor cooled by mechanical methods. Natural ventilation occurs with the louvers, open doors and the ridge vent. A water heater is provided in a small mezzanine space in the Men's Locker area above the pantry area for the concession space. Hot water is plumbed to the sinks in the concession area, but not to the sinks or showers in the bathhouse. The water service is in a sump area at one corner of the women's locker room and has a metal access floor plate. The plumbing piping was observed to be in good condition. Since the water had been drained from the pipes for the cold weather, testing of the operation of the faucets or toilet was not possible, but was indicated by personnel to be operable. The electrical service was observed to be in good condition and is located in the concession area. The light fixtures through the facility are operable.

Recommendations for the Bath House and Concession Area

RSSC Architecture recommended the following improvements to the Bath House, and calculated associated cost estimates for each improvement.

Swimming Pool Bath House Renovations - Opinion of Probable Costs		
Task #	Recommendation	Cost
1	Modify and update handicap accessible toilet stalls in both the men and women's locker rooms with the proper clearances and accessory locations. Work includes relocating the 24" and 36" grab bars and the toilet paper holder, modifying and reducing the size of the sanitary vent pipes to provide the proper side clearance at the water closet, constructing a 42" high by 54" long wall partition around the sanitary vent pipe and providing a new 42" grab bar on the wall. (Providing new toilet partitions to meet ADA clearances is part of Item #2).	\$2,300
2	Replace or repair rusted bottom sections of toilet partitions. Alternate option, replace metal partitions with non-rusting material (solid plastic or phenolic). Since the handicap accessible stalls require partition size modifications, it will be more cost effective to replace the existing with new. Work includes removing and replacing three stalls from the women's locker room and one stall from the men's locker room, including reinstalling the toilet accessories and providing the proper accessible door hardware. (In the women's locker room there also exists three dressing cubicles, which could be replaced to match the toilet stalls. Estimated additional cost \$2,700)	\$4,630
3	Relocate one existing urinal to ADA height (17" max. to rim) and flush operator.	\$600
4	Relocate the lavatory at men's locker room to provide required 15" dimension to centerline of sink.	\$500

5	Lower the counters to ADA height (2'-10" max.) at both locker rooms. Work includes removing counters from wall, shortening length of support legs and reattaching counter at new height.	\$100
6	Provide lower counter at 2'-10" ADA height at the check-in counter. Work includes removing and patching a portion of the existing masonry wall and providing a new countertop at this area.	\$210
7	Provide tactile men and women locker room signs on the walls at the check-in counter.	\$90
8	Repair and paint existing metal paper towel dispensers or replace dispensers with non-rusting ones at both locker rooms. Install dispensers at allowable ADA heights (40" max. to towel discharge).	\$120
9	Clean and repaint the bottom two feet of the exterior masonry walls around the perimeter of the building where the paint is coming off.	\$1,000
10	Have existing corrugated cement asbestos panels tested and recommendations for proper removal and disposal.	\$600
11	Replace existing corrugated cement asbestos roof and wall panels with new metal, fiberglass or polycarbonate panels. Work includes removing and disposing of existing panels (\$4,700) and providing new roof and siding panels (\$8,000 to \$10,000).	\$14,700
TOTAL		\$24,850

USAGE ANALYSIS

Attendance Analysis and User Profile

One of the typical analyses of the swimming pool is by attendance. The Zelianople Swimming Pool does not track daily attendance. Discussions with staff suggest that there are an average of about 100-150 patrons per day with several days throughout the summer reaching as many as 300. This would mean about 10,000 visitors per summer. These numbers are a bit above average for a pool in a community the size of Zelianople.

The Pool Board does track usage of the pool by revenue categories for Daily Admission and Season Pass admission. The chart shows that the admission revenues are split almost evenly between daily admission and season passes.

Comparison of Attendance Admissions by Type						
Attendance Type	2004	2005	2006	2007	4 year average	% of Total
Daily Admissions	\$11,598	\$16,764	\$18,544	\$19,812	\$19,812	51.12%

Season Pass	\$13,602	\$18,769	\$20,550	\$21,819	\$20,379	52.59%
Total Admission	\$25,200	\$35,533	\$39,094	\$41,631	\$38,753	103.71%

OPERATIONS AND MANAGEMENT ANALYSIS

When considering a major investment into a community swimming pool, it is important to understand the management practices of the pool. Management practices can significantly affect finances, attendance, user satisfaction, programming, regulatory compliance, and safety. They can also have a significant impact on the degree of community support for rehabilitation and expansion of the pool.

Staffing

The pool staff consists of a pool manager, an assistant manager for the concession stand, a head lifeguard, lifeguards, front desk cashiers, and concession staff. All staff are seasonal employees.

Borough public works employees provide general maintenance for the pool. At least one maintenance employee holds proper pesticide certifications and is responsible for chemical maintenance and adjustments.

The Pool Manager and all lifeguard staff hold current certifications in approved lifesaving, CPR, and First Aid. The Pool Manager is not certified as a pool operator nor does she hold a Pesticide Applicator license. A pre-season staff training session is held along with two additional in-service training sessions throughout the summer.

Staff wages are generally appropriate, at an average hourly rate of \$7.15. Staff typically receives an additional \$.25 per hour each year they return. The head lifeguards and assistant manager receive a higher rate of pay.

The Pennsylvania Bathing Place Manual provides basic standards concerning the number of lifeguards needed at any swimming pool. Based on these regulations, the pool proposed in this plan would require the following daily staff.

- Pool Manager
- Head lifeguard
- Four lifeguards
- One or two concession workers
- One admissions cashier

Management Observations

- There is a good balance between experienced/returning staff and new staff.
- The public is generally satisfied with the pool's hours of operation.
- Record keeping of any kind has been very limited.
- Few recreational programs are offered.
- The swim lesson program is not recognized by an accrediting agency such as the YMCA or Red Cross.
- The pool is generally safe and clean.
- There is little marketing of the existing swimming pool.

The Pool Manager should be certified as an Aquatic Facility Operator (AFO) and should hold a current Pesticide Applicators license. All lifeguard staff must hold current certifications in approved Lifesaving, CPR, and First Aid.

Season and Hours of Operation

In recent years the pool has been open from twelve o'clock noon to eight o'clock p.m. daily. Swimming lessons are held in the morning prior to the pool opening for general swim time, and it is available for rentals from 8-10 p.m. The season generally runs from the Memorial Day to Labor Day. The pool is open approximately seventy days per season. Results of the questionnaire distributed as part of this study indicate that the hours of operation are one of the things that patrons like about the pool.

Programming

The pool offers swimming lessons, water aerobics, rental opportunities, and family swim times. The swimming lessons are not certified through any accrediting agency such as the Red Cross or YMCA. They are held in the mornings between 9:45 a.m. and noon and from 6:00 to 6:30 p.m. Lessons cost \$40 for members and \$45 for non members.

Many communities rely on a variety of programming to boost revenues and attract additional users to their swimming pools. Such events should be priced, at a minimum, to offset the operating cost for the event and many can produce additional revenue for the pool. Additionally, by increasing the population segment that is brought into the pool, the Borough would be increasing their opportunities to attract those users as regular customers of the pool.

Basic programs offered by most municipalities include:

- elementary and teen pool parties
- swim team
- water special events

Summary of New Lifeguard Regulations

- Lifeguards must be certified by one of three agencies: the American Red Cross, YMCA, or Jeff Ellis and Associates.
- At least one certified lifeguard is required for every 4,000 square feet of water surface area of the pool, plus one guard for any fraction thereof, equal to or greater than 1,000 square feet.
- The required number of lifeguards must be at waterside at all times during all times the pool is open to the general public for recreational swimming.
- If a lifeguard does not have an unobstructed view of and immediate access to any wading pool, an additional lifeguard must be assigned to the wading pool.
- During periods of special events and instructional periods, where the pool use is restricted in use to only those participating in the special event, at least one lifeguard must be at waterside at all times.
- A lifeguard must be stationed within fifty feet of any diving or waterslide area.
- While on duty to watch swimmers, a lifeguard may not be assigned other tasks that may divert their attention from the swimmers.

- water carnival

Publicity and Public Relations

The Zelianople Pool does little to publicize its season, rates, programs, and activities. Limited advertising and press releases are placed in the local newspaper announcing the season, rates, and programs.

If Zelianople is to make significant improvements to its pool, the Park Board should consider additional marketing strategies as a means of boosting revenues. Though marketing may be a strange concept to a community pool, a more business-like approach such as this will likely produce good financial results. General marketing standards suggest that a new user needs to see or hear about your product three to six different times, and in more than one media. Marketing strategies could include:

- a goal as to how many season passes you want to sell, what you want the average daily attendance to be, or total summer admissions
- a marketing brochure featuring the newly expanded amenities and improvements at the pool
- a larger mailing to include areas outside the borough
- press releases to all local newspapers
- a “kick-off party” to celebrate the opening of the “new” pool
- distribution of passes that are good for one free daily admission
- a swim for free day
- have a Community Park Board member present a program about the pool and park to local business, service, and civic groups
- gimmicks to invite local youth sports organizations such as a free evening swim for little league, soccer, and girls softball

The object in the first couple years is to get people who have never used the pool to come. A free admission will get a person there once and hopefully they will enjoy themselves enough to return as a paying patron. The Board should be creative in its attempts to get people to use the pool.

Recordkeeping

The following indicates an analysis of reporting forms that should be kept at the swimming pool. It is not intended to be an all-inclusive list but rather an indication of some of the more important recordkeeping necessary for safe and efficient operation of your pool. You need to be aware of recordkeeping items required by the many agencies that may have governance over municipal swimming pools.

Typical Swimming Pool Recordkeeping

Records and Purpose	What is Expected or Required	Suggested Methods
<p>Daily Attendance</p> <p>Track usage of the pool to assist in staffing, financial, marketing, and programmatic decision-making</p> <p>Meet DEP regulations</p>	<p>Records should provide a detailed listing of daily attendance classified by payment method, youth or adult, resident or non-resident. Some pools track attendance by the time of day in order to accurately determine user loads.</p>	<p>Utilize a cash register that can track the desired data</p>
<p>Swimming Lesson Records</p> <p>Help staff understand the swimming level of young patrons, provide records in case of accidents, provide certification documents for Red Cross or YMCA</p>	<p>Listing of name, address, and phone number for all participants</p> <p>Progressive reports for each participant showing swimming level completed</p> <p>Required Red Cross or YMCA documentation</p>	<p>Create a computerized database to track the desired data</p>
<p>Season Ticket Information</p> <p>Provide marketing information, track repeat users, know your users</p>	<p>Name, address, phone number, medical conditions, swimming levels for all pass holders</p>	<p>Create a basic database of information</p>
<p>Water Quality Reports</p> <p>Meet DEP and Department of Health regulations</p>	<p>Records of each water test conducted including time, chlorine and PH levels, air and water temperatures, weather conditions, and attendance. Also record corrective actions taken for deficient readings</p>	<p>Assure that all records are kept and recorded accurately. Keep DEP form up to date and available for inspection</p>
<p>Emergency Procedure</p> <p>Safety and liability</p>	<p>A written procedure that details what to do in case of an emergency at the pool</p>	<p>Develop an Emergency Procedure and post it in a conspicuous location. All staff should receive training to understand it thoroughly</p>
<p>Safety Inspection Records</p> <p>Maintain safety</p>	<p>Record observations of potential safety hazards and create a record of action for all deficiencies</p>	<p>Implement a daily inspection procedure</p>

<p>Incident Report</p> <p>Record incidents that occur at the pool for safety and liability purposes</p>	<p>Record personal, incident, and response data for all incidents at the pool</p>	<p>Develop an incident report form and a system of responses to certain types of incidents</p>
<p>Accident Report</p> <p>Maintain records of any accidents at the pool for safety and liability purposes</p>	<p>Record personal, accident, and response data for all accidents at the pool</p>	<p>Develop a written accident report form</p>
<p>Daily Financial Records</p> <p>Provide checks and balances for all funds handled by pool employees</p>	<p>Checks and balances that assure an accurate accounting of all funds handled by pool staff</p>	<p>Develop a fiscal policy to assure adherence to business management standards for handing and recording funds</p>
<p>Material Safety Data Sheets (MSDS)</p>	<p>MSDS are required to be kept on site for any and all chemicals used at the facility. Suppliers are required to provide the facility with the appropriate MSDS, however, it is the facility's responsibility to assure that the sheets are on site</p>	<p>Establish a specified location to keep the MSDS and assure that all staff know of their whereabouts</p>

Swimming Pool Management Manual

It is becoming common practice for swimming pools to have a Management Manual that provides for compiling all management information in one document. In addition to serving as a good management tool, the manual helps to assure that all regulatory forms are kept current, safety standards are tracked, all necessary records are kept, and that policies and procedures are written down. There are many policies and procedures at the Zelianople pool that have been handed down over the years. Some are written and some are not. It is difficult to assure compliance with or even understanding of all the policies when they are not compiled in one location. The manual should serve as a means of documentation of all policies and procedures as well as assurance that management and staff are aware of them.

The manual should include but not be limited to:

- 1) Organizational Structure of the Swimming Pool
 - a) Description
 - b) Organizational Chart
 - c) Chain of Command and Responsibility
- 2) A Current Listing of All Staff

- 3) Job Descriptions
 - a) Pool Manager
 - b) Assistant Pool Manager
 - c) Lifeguard
 - d) Admission/Concession Workers
 - e) Maintenance/Caretaker

- 4) Personnel Policies
 - a) Certifications/Requirements/Standards of Employment
 - b) Pre-season Testing and Training
 - c) Training Manual
 - d) Work Schedule and Hours
 - e) Training
 - f) Dress Code
 - g) Uniforms
 - h) Swim Suits
 - i) Outer Clothing
 - j) Tattoos and Body Piercings
 - k) Absenteeism and Tardiness
 - l) Tobacco, Alcohol and Drugs
 - m) Purchase of Concessions
 - n) Acquisition of Supplies
 - o) Performance of First Aid
 - p) Housekeeping Duties
 - q) Visitors and Phone Calls
 - r) Personal Use of Facilities and Equipment
 - s) Care of Facilities and Equipment

- 5) Lifeguarding

- 6) Safety, accident, and emergency policies and procedures
 - a) Emergency Plan
 - b) Accident Procedures and Reports
 - c) Incident Procedures and Reports
 - d) First Aid Room Recordkeeping
 - e) Sun Exposure
 - f) Patron Rules
 - g) Disciplinary Procedures
 - h) Fecal Incidents
 - i) Missing Person
 - j) Inclement Weather Policy
 - k) Lightning Policy
 - l) Emergency Closings of the Pool

- 7) Employment Policies
 - a) Work Schedule and Hours
 - b) Breaks
 - c) Payroll
 - d) Timesheets
 - e) Overtime
 - f) Lifeguard Audits
 - g) Lifeguard Rotations
 - h) Employee Discipline
 - i) Staff Evaluations
- 8) Financial
- 9) Programming
- 10) Daily Operations
 - a) Opening and Closing of the Pool
 - b) Admission Procedures
 - c) Season Tickets
 - d) Tracking Attendance
 - e) Concession Procedures
- 11) Seasonal Opening and Closing of the Pool
- 12) Management Policies and Procedures
 - a) Recordkeeping Matrix
 - b) Public Relations/Publicity
 - c) News Media Relations
 - d) Music Devices – Radios, CD players, boom boxes, cell phones, iPods, MP3 players
 - e) Photographs, cameras, cell phone cameras, video recorders
- 13) Mechanical and Maintenance Drawings, Manuals, and Plans
 - a) List of drawings and manuals available and location of each
- 14) Mechanical and Maintenance Procedures and Information
 - a) Handling of Chemicals
 - b) Material Safety Data Sheets (MSDS)
 - c) Maintenance Procedures Checklists – daily, weekly, monthly, occasional, etc.
 - d) Meeting PA Bathing Code Standards
- 15) Originals of All Recordkeeping Documents
- 16) Swimming Pool Governing Regulations
 - a) PA Bathing Code
 - b) PA Bathing Place Manual

- c) DCNR Swimming Pool Management Manual
- d) Local Ordinances Governing Pool Operations

17) Other items pertinent to pool operations

Intergovernmental Cooperation

For many years the Community Park Association has maintained and managed the swimming pool for residents of the greater Zelienople area. Recently the Board became affiliated with the Borough of Zelienople. Although it is now an agency of the Borough, it is generally recognized that residents from several of the surrounding municipalities utilize the pool extensively.

As renovations to the pool are anticipated, the pool will need to expand its base of operation to attract more users from all of the local municipalities. This would be an appropriate time to consider some type of cooperation among the municipalities to jointly support and operate the swimming pool and park.

The PA Department of Conservation and Natural Resources partially funds a program to evaluate the possibilities of joining municipalities together for such purposes. The Borough should utilize DCNR's Peer-to-Peer grant program to assist the municipalities to determine if intergovernmental cooperation would be beneficial to the provision of parks and pool services.

FINANCIAL ANALYSIS

All aspects of pool operation affect the financial position of the pool. Swimming pools in small communities have traditionally been subsidized by local tax dollars. However, it has become evident in recent years that if swimming pools are operated in more of a business fashion rather than strictly as a municipal service, there are ways to better balance funding between users and taxpayers. The key question that has to be asked is, "Where do we want to fit in this balance?" or, "How much cost recovery should be expected from the Community Pool?"

Operating Budget

The operating budget for the Zelienople Swimming Pool is managed as part of the overall park budget by the Community Park Board.

Revenue categories for the swimming pool have been tracked separately since 1999. They include a variety of admission categories, as well as programming, rentals, concessions, and miscellaneous admissions to the pool and/or its programs. Expenses are also broken into appropriate categories.

The following chart shows the revenue and expense breakdown for the previous three years. The chart also shows the three-year average income and expense by category as well as the percent of change.

Zelienople Swimming Pool					
Revenue/Expense Report 2005-2007					
	2005	2006	2007	3-Year Average	% Change 2004-2007
Expenses					
Salaries	\$41,472	\$42,463	\$49,287	\$ 44,407	19%
Chemicals	\$ -	\$ -	\$ 3,824	\$ 1,275	0%
Equipment/Repairs	\$2,862	\$24,057	\$ 940	\$ 9,286	-67%
Lifeguard Uniforms	\$ 753	\$ 491		\$ 622	-100%
Inspections	\$ 570	\$ 565	\$ 585	\$ 573	3%
Telephone	\$ 308	\$ 399	\$ 320	\$ 342	4%
Administration	\$ 59	\$ 267	\$ 256	\$ 194	334%
Repairs	\$1,995	\$ 3,539	\$ 631	\$ 2,055	-68%
Safety Equipment	\$ -	\$ -	\$ 2,272	\$ 757	0%
Supplies	\$ 5,010	\$ 6,032	\$ 1,471	\$ 4,171	-71%
Aerobics	\$ -	\$ 300	\$ 500	\$ 267	0%
Sanitary Sewer			\$ 407	\$ 407	0%
Concession	\$19,667	\$17,469	\$19,394	\$8,843	-1%
Total Expenses	\$72,696	\$95,582	\$79,887	\$82,722	10%

Revenues					
Daily Admissions	\$16,764	\$18,544	\$19,812	\$18,373	18%
New Members	\$ 8,120	\$ 6,775	\$ 5,865	\$ 6,920	-28%
Maintenance Members	\$28,090	\$25,735	\$26,483	\$26,769	-6%
Babysitter Passes	\$ 290	\$ 465	\$ 330	\$ 362	14%
Pool Parties/Rentals	\$ 2,365	\$ 3,287	\$ 1,925	\$ 2,526	-19%
Swimming Lessons	\$ 8,403	\$ 5,979	\$ 6,900	\$ 7,094	-18%
Aerobics	\$ -	\$ 700	\$ 740	\$ 480	0%
YMCA Fees	\$ 4,000	\$ 6,224	\$4,876	\$ 5,033	22%
Miscellaneous			\$ 124	\$ 124	0%
Concessions	\$22,062	\$20,445	\$15,568	\$19,358	-29%
Total Revenues	\$90,094	\$88,154	\$82,623	\$86,957	-8%
Net Revenue	\$17,398	\$(7,428)	\$ 2,736	\$ 4,235	

An analysis of the preceding chart shows the following key information:

- Nearly 65% of the pool's revenue comes from admission fees and memberships.

- The largest expense category is that of salaries at 54%.
- In two of the three years compared, the pool showed an excess of revenue over expenses.
- The average net revenue over the three year period was \$4,235.
- Total revenues decreased by 8% from 2005 to 2007.
- Total expenses increased by 10% from 2005 to 2007.
- The increase in expenses is directly related to increases in salaries. This is most likely due to the legislated increase in minimum wage.
- Daily admissions increased by 18% during the three year period while new memberships and maintenance memberships decreased by 28% and 6% respectively.
- Concession revenues were down significantly (-29%) as were swimming lessons (-18%) and rentals (-19%).
- The Community Park Board has done a good job of managing the ongoing finances of the swimming pool.

Concessions

The concession stand at the swimming pool primarily serves pool patrons but is also open to park users. Generally, the concession stand is open when the pool is open for general swimming and is also open during other activities in the park. It is generally considered that the concession stand is part of the swimming pool operation. Therefore a financial analysis of the concession stand is included as part of this study.

The concession operation has an average income of \$19,358 over the last three years and an average expense of \$18,843 during the same period. The net income of the concession for the three years is \$1,545.

The following chart shows the three-year comparison of revenue and expenses for the concession stand.

Concession Comparison by Year				
	2005	2006	2007	Average
Revenue	\$22,062	\$20,445	\$15,568	\$19,358
Expense	\$19,667	\$17,469	\$19,394	\$18,843
Net Income	\$2,395	\$2,976	-\$3,826	

The concession stand should earn a profit every year. The profit should be at least 10% of operating expenses with a target profit of 20%. Staffing, product selection, pricing, and inventory control must be appropriately managed to ensure profitability.

With the size of a concession stand and estimated pool attendance, staff should include a manager and one or two workers. If additional staff is necessary, a rotating lifeguard can be used on a short-term basis. However, a lifeguard should never be pulled off of guard duty to work in the concession stand.

Most products at the concession stand should be high profit items such as premix pop, popcorn, sno-cones, and Popsicles. This should be supplemented out with mid-profit items such as candy bars, pizza slices, ice cream bars, and canned drinks. Low profit items such as hotdogs, nachos, and hot pretzels should be avoided. Sale of penny candy should be avoided as well due to problems with inventory control and low profitability.

Product pricing should be set to return an adequate profit while not exploiting pool patrons. Prices should be competitive with other locations in town. The purpose of the concession stand should be to earn a profit for the pool while providing a service to its patrons.

Inventory and a system of financial controls should be of utmost importance. Typical business practice should be adopted to assure that all money and inventory are accounted for on a daily basis.

Comparison to Other Swimming Pools

The Borough must consider admission rates as a key factor in providing revenue for a rehabilitated facility. Since admission fees account for about 65% of the pool's revenue, it is important to understand what residents are paying and how that compares to other similar communities. The following charts show current rates and a comparison to five other communities.

Swimming Rates for 2007				
	Resident	Non Resident	Resident	Non Resident
	Before May 1st		After May 1st	
Individual	\$115.00	\$130.00	\$140.00	\$155.00
Family of 2	\$145.00	\$160.00	\$190.00	\$210.00
Family of 3	\$190.00	\$210.00	\$235.00	\$260.00
Family of 4	\$210.00	\$265.00	\$280.00	\$310.00
Family of 5 or more	\$245.00	\$270.00	\$305.00	\$340.00
Senior	\$75.00	\$85.00	\$85.00	\$95.00
Senior family of 2	\$110.00	\$140.00	\$140.00	\$160.00
Nanny	\$80.00	\$80.00	\$90.00	\$90.00

Daily Admission		
	Main Pool	Baby Pool
Weekday	\$5.00	\$3.00
Weekend	\$6.00	\$4.00

EDCO POOL**Resident**

Resident Membership	Rates
Individuals	\$110.00
Family of 4	\$180.00
Senior Citizen	\$80.00

Non-Resident

No Non-Resident Memberships	Use Daily Admission Prices
-----------------------------	----------------------------

Daily Admission

Daily	Rates
Individual	\$5.00
Senior Citizen	\$3.00
Baby Pool	\$3.00

CRANBERRY TOWNSHIP WATER PARK**Cranberry Township Resident**

Resident Membership	Rates
Individual	\$110.00
Family of 4	\$235.00
Senior	\$80.00

Cranberry Township Non-Resident

Non-Resident Membership	Rates
Individual	\$135.00
Family of 4	\$310.00
Senior	\$100.00

Daily Admission

Individual	Rates
Resident	\$6.00
Non-Resident	\$8.00

MARS COMMUNITY POOL (Private)**Member**

Memberships	Rates
New Membership Household	\$125.00
Senior Citizen Couple	\$150.00
Household Maintenance Fee	\$375.00
Capital Improvement Fee	\$25.00

Non-Member

Guest	\$5 per visit
Guest	\$40 per 10 passes

Daily Admission

No Daily Admission Fee

ALAMEDA POOL (Butler County Parks and Recreation)**Butler County Resident**

Resident Membership	Rates
Adult Individual	\$110.00
Youth Individual	\$105.00
Family of 4	\$195.00
Senior	\$90.00

Daily Admission

Daily	Rates
All Individuals	\$5.00
After 5 p.m., M.-Th.,	\$2.50

OLD ECONOMY PARK POOL (Beaver County Parks)**Old Economy Resident**

Resident Membership	Rates
Individuals Age 6-54	\$50.00
Family of 4	\$130.00
Senior	\$45.00

Old Economy Non-Resident

No Non-Resident Memberships	Use Daily Admission Prices
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Daily Admission

Daily	Rates
Age 6-54	\$5.00
Age 55 and older	\$4.00
Age 5 and under	No Charge

The consultant's observations of the comparison of the Zelianople Swimming Pool to others in the area are as follows.

- Zelianople has 32 different membership rates based on the time a pass was purchased, the type of pass, and residency. Other pools have 4 to 6 basic rates.
- When comparing a season pass or membership for a family of 4, Zelianople's lowest rate is higher than EDCO, Alameda, and Old Economy, but lower than Cranberry and Mars. The higher rate (After May 1st) is higher than all pools except the Mars Community Pool.
- Zelianople is one of three pools that charges a higher non-resident fee.

- Zelianople has four different daily rates compared to two at all other pools except Cranberry. Cranberry is the only pool that charges a higher non-resident daily admission fee.
- All pools have a lower rate for seniors. Only Alameda Park Pool has a higher senior rate (\$90) than Zelianople's rate of \$85.

FEASIBILITY CONCLUSION

The Zelianople Swimming Pool is a viable entity with a strong history of success. It has shown that over the years, the Board has been successful at managing the pool's operations. The difficulty has been in keeping up with larger maintenance needs, rehabilitation, and renovations.

The Zelianople Swimming Pool has found its market niche. It is intended primarily for local residents who want a pool that is close-by and has a small town atmosphere. While many pools across the country have found it difficult to be financially successful with this type of swimming pool, Zelianople has found a way to make it work. According to the public input, local residents like the location and size of the pool, its cleanliness, the friendly staff, the atmosphere, concession stand and lounge chairs.

The pool is now in need of major renovations to bring it into compliance with current construction and operating standards. Additionally, if the pool is to continue to provide for the swimming needs of the Zelianople area, and to draw the patrons it needs to continue its financial success, new amenities need to be added. Based on the market niche where the pool has found success, simple upgrades and renovations that maintain its current style and atmosphere are most suited for its future.

If the pool and its buildings are renovated and enhanced as described in this plan, the Community Park Association should be able to continue its successful operation for many years to come. However, the revenues that can be produced by the new pool will not be sufficient to pay for the cost of the renovations. Renovations costs are estimated in the range \$1 to \$1.2 million.

Some of the funding will be available through state grants but certainly not enough to pay the majority of the renovation costs. Our long-term operating budget projections suggest that as much as \$10,000 to \$20,000 annually may be available in some years of operation. However, due to a variety of economic factors, weather conditions, community support, and business concerns, the Association should not expect this amount of money to be available year after year. A contingency should be in place to account for years when revenues fall short of expectations.

It is likely that more than one source of funding will be needed to conduct such major renovations to the Zelianople Swimming Pool. Community input supports the concept that the primary sources of construction funding should be grants, local tax dollars, and private contributions. In addition, operations should be funded through memberships, user and program fees.

Funding is available through a variety of different sources for construction of recreation facilities. Sources of funding to consider include:

State Grants

Department of Conservation and Natural Resources Grants - generally up to about \$200,000 for construction costs. Some creativity could increase the number. DCNR publications state, “Indoor recreation facilities including such facilities as gymnasiums, multi-purpose rooms, swimming pools, ice rinks, racquetball courts, and fitness/weight rooms are eligible for funding. Support facilities, structures or systems that directly relate to eligible indoor recreation facilities may also be eligible and include such items as locker/restrooms, roof and window repairs, heating, air conditioning and electrical systems, and parking lots. Areas of municipal buildings used for daily or regular business and meetings, rooms rented or used for non-recreational purposes, as well as libraries, are not eligible under the program.” In addition to funding for development projects, DCNR also provides grants for property acquisition, peer-to-peer studies, and circuit rider recreation directors.

- * **Department of Community and Economic Development Grants** - no specified funding limit. Funds can be used for design, construction, and/or equipment.
- * **General borrowing** - The Borough could borrow funds through traditional lending sources. However, these funds may be limited.
- * **Bond issue** - The Borough could borrow funds through a bond issue. This is generally the most effective means of borrowing larger sums of money.
- * **Local tax dollars** – Most likely an annual commitment to go towards the pay off of a loan.
- * **Corporate contributions** - Local corporations may be willing to contribute to have facilities available for their employees or simply for community development.
- * **Foundation grants** - Foundation grants are difficult and time consuming to acquire but are available.
- * **Fundraising** - A community-wide fundraising effort could raise substantial funds.
- * **Partnerships** - Organizations such as youth organizations, hospitals, corporations, senior homes, etc. should be considered as potential partners in both construction and operations funding.
- * **Membership fees** - It is more likely that membership fees would be used for operations but a portion could be allocated to construction.
- * **Program revenue** - It is more likely that program revenue would be used for operations but a portion could be allocated to construction.

It is very important that a specific funding plan be developed. A balanced and creative

approach should be taken in deciding on which financial options best fit the Borough's needs. Making use of a series of funding sources provides a number of creative options for financing a swimming pool.

RECOMMENDATIONS

Facility Recommendations

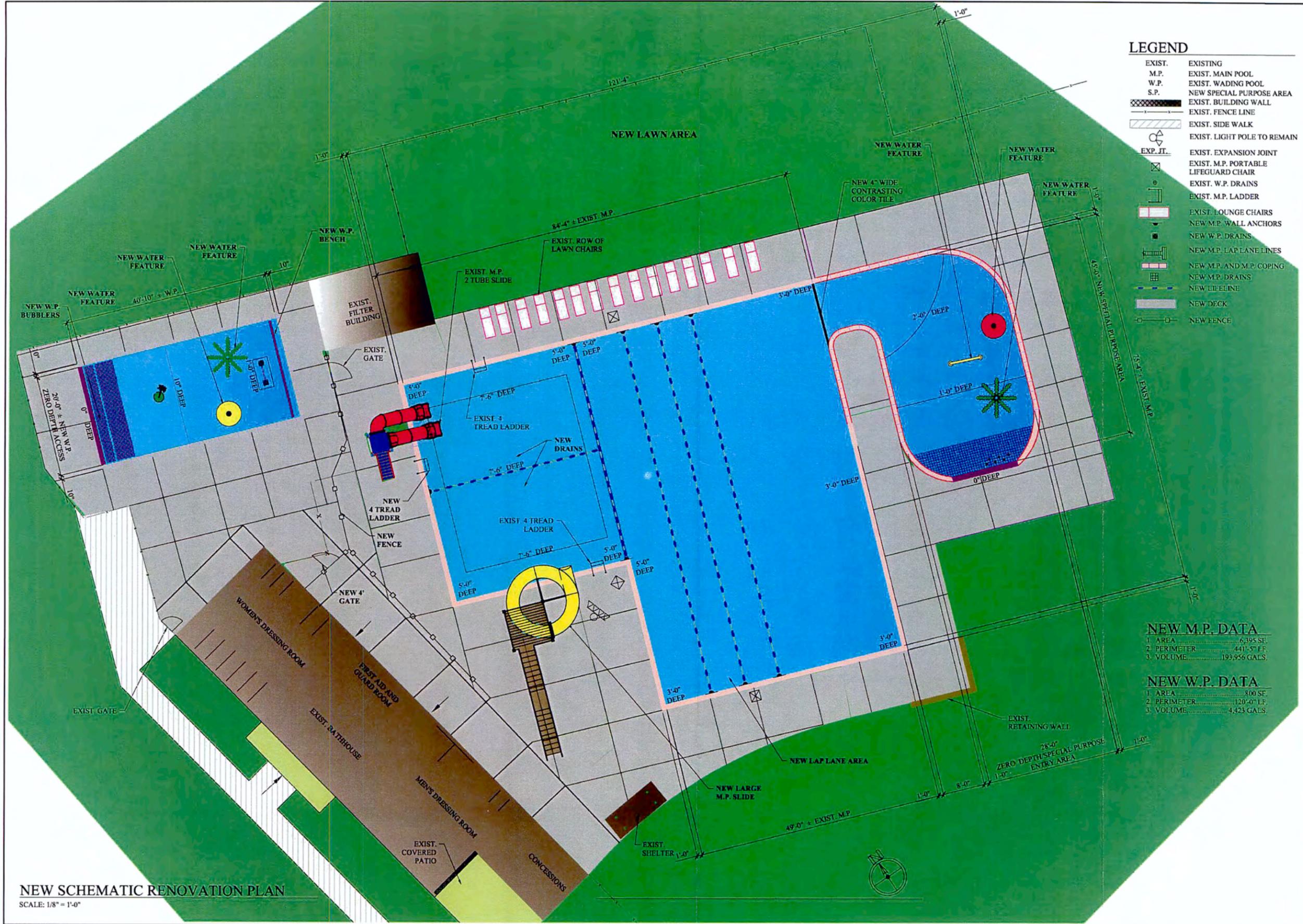
1. Complete the basic renovations as identified in the facility analysis, for both the main and wading pools. Total Estimated Cost for basic renovations - \$534,800

2. Complete the upgrades to the bathhouse as follows:
 1. Modify and update handicap accessible toilet stalls in both men's and women's locker rooms with the proper clearances and accessory locations.
 2. Replace or repair rusted bottom sections of toilet partitions. Another option is to replace metal partitions with non-rusting material such as PVC or phenolic type partitions.
 3. Re-install one existing urinal to allowable ADA height and flush operator.
 4. Re-install lavatory at men's locker room to provide the required 15" dimension to the centerline of the sink.
 5. Lower the counters at both locker rooms to 2'-10" AFF.
 6. Provide a lower counter at 2'-10" AFF at the check-in counter.
 7. Install tactile men's and women's locker room signs on the walls at the check-in counter.
 8. Repair and repaint existing metal paper towel dispensers or replace dispensers with plastic non-rusting ones at both locker rooms, mounted at the allowable ADA heights.
 9. Clean and repaint the bottom two feet of the exterior masonry walls where the paint is coming off.
 10. Have existing corrugated cement asbestos panels tested and recommendations for proper removal and disposal.
 11. Replace existing corrugated cement asbestos roof and wall panels with new metal, fiberglass or polycarbonate panels.

Total estimated cost - \$ still to be determined

3. Complete the additional features to the pool as follows:
 1. Install a zero-depth addition to the main pool
 2. Create zero depth entrance to the wading pool
 3. Install a large tube slide in the main pool
 4. Install water play equipment in both the main and wading pools
 5. Install a winterization cover on both pools
 6. Add a water heater for the main pool
 7. Shallow the diving area to 7.5 feet
 8. Upgrade lighting

9. Expand the grassy area on the north side of the pool
 10. Install a new fence barricade between the bathhouse and the deep end of the main pool
 11. Install a shade shelter near the filter building on the new grassy area
- Total estimated cost - \$480,840



LEGEND

EXIST.	EXISTING
M.P.	EXIST. MAIN POOL
W.P.	EXIST. WADING POOL
S.P.	NEW SPECIAL PURPOSE AREA
	EXIST. BUILDING WALL
	EXIST. FENCE LINE
	EXIST. SIDE WALK
	EXIST. LIGHT POLE TO REMAIN
EXP. JT.	EXIST. EXPANSION JOINT
	EXIST. M.P. PORTABLE LIFEGUARD CHAIR
	EXIST. W.P. DRAINS
	EXIST. M.P. LADDER
	EXIST. LOUNGE CHAIRS
	NEW M.P. WALL ANCHORS
	NEW W.P. DRAINS
	NEW M.P. LAP LANE LINES
	NEW M.P. AND M.P. COPING
	NEW M.P. DRAINS
	NEW LIFELINE
	NEW DECK
	NEW FENCE

NEW M.P. DATA

1. AREA	6,395 SF.
2. PERIMETER	441'-5" L.F.
3. VOLUME	193,956 GALS.

NEW W.P. DATA

1. AREA	800 SF.
2. PERIMETER	120'-0" L.F.
3. VOLUME	4,423 GALS.

NEW SCHEMATIC RENOVATION PLAN
SCALE: 1/8" = 1'-0"

WADE ASSOCIATES, I.L.C.
SWIMMING POOL AND AQUATIC FACILITIES CONSULTANTS
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SWIMMING POOL RENOVATIONS
FOR
**ZELIENOPLE BOROUGH
COMMUNITY PARK**
ZELIENOPLE BOROUGH - BUTLER COUNTY - PENNSYLVANIA

**NEW SCHEMATIC
RENOVATION PLAN**

DATE: 08-16-07
SCALE: AS NOTED
DRAWN BY: DLS
REVISED:
DRAWING NUMBER: SR-101

Operations and Management Recommendations

Management Recommendations - Administration

1. Have the Pool Manager to attend a biannual training for Aquatic Facility Operators Certification. Require him or her to become certified.
2. Provide a pre-season training for all staff to include at a minimum:
 - Re-testing of all lifeguards
 - CPR and first aid
 - Safety procedures
 - Personnel policies
 - All standard operating procedures
3. Implement the recordkeeping recommendations according to the chart on page 20. Computerize as much recordkeeping as possible.
4. Develop a pool management manual. A description of the manual is found in the report.
5. Implement a new publicity campaign after renovations to the pool have been completed.

Management Recommendations - Intergovernmental Cooperation

1. Apply to DCNR for a Peer Study Grant to determine if some type of intergovernmental arrangement could work for operation of the park and pool.
2. Begin formal discussions with surrounding municipalities to develop an agreement on a contribution of funds from the townships to the pool rehabilitation in exchange for resident rates for their residents.

Financial Recommendations

1. **Admission and Membership Fees** should remain similar to what they are currently. They could be raised slightly to reflect the new and expanded facilities. However, the primary source of additional revenue will be derived from new members and daily users. It would be wise to reduce the number of membership categories to simplify financial management.
2. **Staffing** - Wage rates will need to increase regularly to keep pace with minimum wages and the need to keep good staff. At least one new lifeguard, maybe two, will be needed when the renovated pool is complete. This is built into the projected budget.
3. **Additional programming** and special events can be used to increase the usage of the pool and bring in new patrons.
4. **Operate under typical business principles** for non-profit organizations. Consider revenues, expenses, product, marketing, staffing, market niche, programming, etc.
5. **Strengthen the checks and balances** to ensure strong long-term financial security.
6. **Develop a complete funding strategy** for renovations to the pool before committing to the cost of the proposed renovations.
7. **Plan for the “new” pool** based on the budget estimates provided on the following pages.
8. **Operate the concession stand** as a profit center of the pool.

**Zelienople Renovated and Enhanced Swimming Pool
Budget Projections**

	Year One	Year Two	Year Three	Year four	Year Five
Expenses					
Salaries	\$55,000	\$55,000	\$57,000	\$57,000	\$59,000
Chemicals	\$4,000	\$4,200	\$4,500	\$4,700	\$5,000
Equipment/Repairs	\$1,200	\$1,200	\$1,500	\$2,500	\$2,500
Lifeguard Uniforms	\$800	\$900	\$900	\$1,000	\$1,000
Inspections	\$600	\$600	\$700	\$700	\$700
Telephone	\$500	\$500	\$500	\$600	\$600
Administration	\$500	\$800	\$800	\$1,000	\$1,200
Repairs	\$1,000	\$1,500	\$1,500	\$2,500	\$2,500
Safety Equipment	\$1,000	\$1,000	\$1,200	\$1,200	\$1,200
Supplies	\$6,500	\$6,500	\$7,000	\$7,000	\$7,000
Aerobics	\$400	\$400	\$500	\$500	\$500
Sanitary Sewer	\$600	\$600	\$800	\$800	\$800
Concession	\$15,000	\$15,000	\$16,000	\$16,000	\$16,000
Total Expenses	\$87,100	\$88,200	\$92,900	\$95,500	\$98,000
Revenues					
Daily Admissions	\$23,800	\$25,000	\$26,500	\$28,000	\$28,000
New Members	\$10,000	\$12,000	\$12,000	\$12,000	\$12,000
Maintenance Members	\$30,000	\$32,000	\$35,000	\$35,000	\$35,000
Babysitter Passes	\$500	\$800	\$800	\$800	\$800
Pool Parties/Rentals	\$3,000	\$3,500	\$4,000	\$4,000	\$4,000
Swimming Lessons	\$8,000	\$8,000	\$8,000	\$9,000	\$9,000
Aerobics	\$800	\$1,000	\$1,000	\$1,000	\$1,000
YMCA Fees	\$3,800	\$3,800	\$3,800	\$3,800	\$3,800
Miscellaneous	\$0	\$500	\$500	\$1,000	\$1,000
Concessions	\$18,700	\$19,000	\$20,000	\$21,000	\$21,000
Total Revenues	\$98,600	\$105,600	\$111,600	\$115,600	\$115,600
Net Revenue	\$11,500	\$17,400	\$18,700	\$20,100	\$17,600

Line Item Description

Expense

Salaries – Includes two new lifeguards on duty for the new pool

Chemicals – Increased efficiency should keep costs from rising too quickly

Equipment and Repairs – Will be low in the first years but will increase slowly

Lifeguard uniforms – The pool should pay for a swimsuit and shirt for lifeguards and a shirt for other staff

Inspections – Similar to previous years

Telephone – Similar to previous years

Administration – A small amount is budgeted to cover administrative expenses

Repairs – General pool repairs. Will be lower in the first years but will increase after that

Safety Equipment – Includes first aid supplies, rescue tubes, etc. Costs should remain fairly constant

Supplies- Operations and program supplies

Aerobics – Costs for instructor

Sanitary Sewer – Similar to previous years

Concession – Costs for items to be sold at the snack bar

Revenue

Daily Admissions, New Members, and Maintenance Members – Daily admissions will increase at first as people try out the new pool. Beginning in the second year, season passes will begin to increase also. Overall attendance should increase which will increase revenues as projected.

Babysitter passes – Will remain fairly constant

Pool parties and rentals- Will increase at first and then stay constant due to limited availability of time

Swimming lessons – May increase more quickly than projected if lessons become certified

Aerobics – Fees for classes

YMCA Fees – The continuation of this will be determined by future use by the YMCA

Miscellaneous

Concessions – Revenue is projected at about 122% of expenses



CHAPTER 4:

Public Design Process

Together with the inventory and analysis, public participation played a key role in helping Pashek Associates develop the final Master Plan for Zellenople Community Park. This chapter describes the development of the Master Plan detailed in the previous chapter.

A project study committee, comprised of local community officials, recreation group representatives, and park stakeholders led the decision-making process with help from Pashek Associates. The committee offered specific information about the park and helped guide the development of concept plans that represented the initial design ideas. After committee feedback on the concept plans, desired design ideas from each concept plan were included in a Draft Master Plan. The Draft Master Plan was presented for comment at the second of two public meetings. With public comments in mind, Pashek Associates further revised the Draft Master Plan and developed the specific recommendations, cost estimates, and phasing plan detailed in Chapter 2. This chapter details the design process mentioned above.

PUBLIC PARTICIPATION

The public participation process for this study included several forms of gathering data. The ***project study committee***, which was formed to guide the master plan and pool feasibility study process, met six times throughout the course of the project. Two public input sessions were also held, and Pashek Associates also presented results of the project to the Zellenople Borough Council to obtain their support for the project.

Pashek Associates conducted 9 key person interviews with citizens involved in recreation and / or conservation around the county. Key person interviewees were identified by the project study committee members.

Pashek Associates also developed a randomly-distributed recreation questionnaire sent to residents of the park's use area: Zellenople Borough, Harmony Borough, Jackson Township, and Lancaster Township. The questionnaire gathered input from a large number of residents that may not have otherwise participated in this study.

In addition to the efforts mentioned above, Pashek Associates maintained a project webpage accessible to all interested parties throughout the planning process.

The input process culminated in the identification of proposed facilities and their relationship to each other, which the master plan reflects.

Project Meetings

This section summarizes study committee meetings, public input sessions, and the project presentation to Borough Council. Actual meeting minutes are located in the appendices of this report.

Study Committee Meeting #1 (October 3, 2007)

At the first meeting of the Project Study Committee, Pashek Associates reviewed the master plan and pool feasibility study processes and explained that the committee would establish a vision for the future of Zelianople Community Park, as well as provide input, and serve as a sounding board for plan recommendations as they are developed.

Pashek Associates, with the committee, then reviewed work done to date, which included an analysis of swimming pool use and operations (as performed by Wayne Wade of Wade Associates).

Committee members were then asked to brainstorm positive and negative aspects of the park and swimming pool, as well as changes they would like to see made there. They offered the following comments:

- ☛ Jackson Township does not want to help with any funding for the park but their residents use the park regularly - We want to involve them but we're not sure how.
- ☛ The old tennis court is our white elephant. It was a skate park and kids wrecked it, so we locked it and it's currently unused.
- ☛ The newer tennis courts haven't been re-paved in 7 or 8 years
- ☛ Bocce Courts could be a Pashek Associates use for the old tennis courts space.
- ☛ The basketball court near the parking lot needs re-surfaced
- ☛ We have a great trail system and could capitalize on it more than we do. Environmental education features like plant/tree tags are a possibility.
- ☛ Both restrooms in the park are in poor condition and should be a primary concern.
- ☛ I like the picnic shelters, water fountains, BBQ's and the general atmosphere of the shelters on the hill with the large trees overhead.
- ☛ The Creek running through the park can be a negative (erosion problems) and a positive (aesthetic quality, children love to play in it)
- ☛ Our road system layout is Pashek Associates but better enforcement of the one-way traffic pattern is needed (signage at least).
- ☛ The hill in the park was once used for sledding and it could be again - that would be a great winter use.
- ☛ Picnic Shelters need ADA access
- ☛ We need another big shelter. It could possibly replace shelters #3 and #4.
- ☛ If we put in a large shelter it should have some sort of storage facility included.
- ☛ People park in the grass at the shelters now - there is no parking.
- ☛ We should look at new locations for new shelters because current locations have erosion problems.
- ☛ We need more shelters near the softball field
- ☛ Atmosphere is important for shelters - the ones on the hill are great because there is tree cover, etc.
- ☛ An Amphitheatre is a Pashek Associates idea. We need a place for everyone to congregate where parents can watch a show and at the same time watch their kids playing nearby on play equipment, etc. The amphitheatre should have capacity for 150-200 people plus lawn seating.
- ☛ We put bands on the ball fields during Horse Trader Days (July). Those concerts get

1,000 people or more.

- ☛ We should look into geothermal heat for the pool.
- ☛ More security / police patrol is an issue we need to talk about.
- ☛ Lighting is needed for trails, roadways, and walkways. Pashek Associates used an example in Windber Borough, Somerset County. Windber installed lights around their loop road and people walk there at all hours. Because people are constantly there, the level of vandalism / loitering has been very low.
- ☛ We should also look at lighting for one or more ball fields.
- ☛ Leopold Co. removes snow from the parking lot and pays the borough for its use for their employees during the day.
- ☛ The wooded area of the park is one of the great things about the park.
- ☛ Facilities / items that should remain in master plan designs include: the Rotary Shelter, the Rapp Shelter, the existing trail system (it should be expanded but existing trails should remain), and monuments in the park.
- ☛ We need to update playground equipment near the shelters.
- ☛ Fencing, guiderails, or other barriers would be great to prevent random parking and to direct people to facilities. Right now people pull right up to the edge of the playground and park there.
- ☛ Any barriers we put up need to be Pashek Associates looking. The chain link fence at the park entrance does a great job as a barrier but doesn't look that Pashek Associates.
- ☛ A dog park / non-leash dog area should be considered.
- ☛ Trail bridges over the creek need to be replaced.
- ☛ The stability of the road bridge over the creek needs to be studied.
- ☛ Electricity and water service are needed to all parts of the park
- ☛ Do we need to maintain tennis courts when Seneca Valley (SV) has new ones? Even if we keep the courts, we have 3 now that are barely used. Could we reduce that to 1 court?
- ☛ Parking all around the park needs to be looked at.
- ☛ Moving the entry road should not be ruled out, but we cannot move it onto school district property. Even though we have a long-term lease on the property the ball fields are on, we should own it before putting something so permanent on it.
- ☛ Heating the pool is a main concern
- ☛ The roofs of the pool house and outbuildings need replaced.

The committee also listed key persons to be contacted throughout the Master Plan process regarding various issues with the park. In addition, the committee discussed distribution strategies for the project questionnaire.

Study Committee Meeting #2 (November 6, 2007)

The purpose of the second study committee meeting was twofold: 1) to review the site analysis plan and further swimming pool analysis and receive feedback; and 2) to present and receive feedback on the first draft of the questionnaire.

After an explanation of the site and swimming pool analysis, attendees made the following comments:

Park Site Analysis Comments:

- There are problems with drainage on the pee-wee ball field (westernmost field), and on the adult field at the corner of Beaver St. and Pittsburgh St. water runs off the streets at the intersection and we cannot pipe it back into the street system due to higher elevations on the street storm drain - we tried to pipe it to the left field corner of the adult field.
- Pashek Associates explained that the only standing water visible on the site during recent site visits was in the left field corner of the adult ball field.
- The drainage from the left field corner of the adult ball field runs westward between the field and the gravel path. We may need to think about putting a new storm drain in to replace the drains that we already installed.
- Another drainage problem is the small swale between the basketball court and the gravel path to the east of it.
- The property line appears to be in the wrong spot on the map - the old tennis courts are basically at the western park boundary. The map needs to be revised to show that.
- The map does not show the entire hiking trail system (Pashek Associates replied that identification of park trails vs. informal trails created by park neighbors was very difficult during field observation)

Swimming Pool Analysis Comments:

- “For the filtration system, can a shorter but wider tank be considered as an alternative to excavating the filter room floor to bring the existing tank to the appropriate level?” -- Pashek Associates agreed to investigate this possibility.
- “Did Pashek Associates consider enlarging the swimming pool to include additional features?” -- Pashek Associates has considered this possibility. Based on current needs, it is not likely that more water space is needed. However, if further investigation shows that additional space is needed, the only realistic possibility would be to expand toward the front of the park.
- Would it be possible to demolish the existing bathhouse, expand the pool in that direction and rebuild the bathhouse elsewhere? -- The existing bathhouse is not in a location that would be appropriate to expand the pool. It is located near the deep end of the pool. Any additional space that may be needed through expansion would be at the shallow end.
- Pashek Associates pointed out that there is an issue with the location of the bathhouse. -- Currently it is located so that people enter into the pool area at the deep end of the swimming pool. For safety reasons, the current construction code requires that the entrances to the pool from the bathhouse be at the shallow end of the pool. Moving the bathhouse would be a costly fix to this problem. While a solution has not been finalized, it is likely that Pashek will recommend some sort of a fence barrier to move funnel pool users to enter the pool area nearer the shallow water. If it is determined that there is a viable reason to move the bathhouse, it would be reconstructed in a location that meets the current construction codes.
- “What is the cost of basic renovations without any new additions?” -- Cost estimates are not finalized yet but preliminary estimates are about \$500,000.
- A suggestion was made that the lap lanes be reconfigured to make them perpendicular to their current direction.
- Pashek Associates pointed out that there is still some research to be conducted to determine usage patterns of the pool, peak attendance, potential new programming, financing and operation, business analysis, and more. -- This will be done over the next couple months.

Additionally, the public input may affect design and operational considerations of the pool.

The committee then reviewed the first draft of the recreation questionnaire and made the following comments during an ensuing discussion:

- Add a question to determine household income so the data may be useful in applications for grants geared toward improvements that will help specified income level residents. This should follow the other questions about the questionee's household.
- We should change the questions regarding picnicking (#6 and #7) to refer to "renting picnic pavilions" because picnicking in general may include much more casual activities like family picnics.
- We should keep the questions asking about the frequency of each activity - this tells us if people like an activity a lot and if they do and will travel to do it, maybe we don't need that facility.
- We need to ask questions regarding where people go to (and how often they) go to a playground, go for casual play (frisbee, pick-up football games, etc.) or casual picnicking, and use trails for biking or hiking.
- Add Skateboarding / BMX biking to the list of possible additional activities in Question #12.
- Add Skate Park to the list of possible additional facilities in Question #13.
- Eliminate Question #14. The Borough is NOT going to discuss acquisition of the school district property, even though the school district indicated that they aren't going to use it for anything. We have a 5-year renewing lease with the school district and may want to discuss a long-term lease (Pashek Associates explained that a long-term lease of 25 years or more is favorable to a grant agency such as DCNR)
- Eliminate Question #16. Several trails already connect the surrounding neighborhoods to the park.
- Replace Questions #18 and #19 with the following question: Zellenople Borough is currently the only municipality providing tax dollars to support the park. Should additional funding for the park be provided by other local municipalities whose residents use the park? YES/NO
- Space should be provided for additional comment on that question.
- Pashek Associates explained that he will add a few more questions regarding specific issues with the swimming pool and that the revised draft (Draft #2) will be distributed to committee members prior to the next Study Committee Meeting.

Pashek Associates also explained to the committee the need for evaluation of existing restrooms in advance of any master plan or pool feasibility study recommendations so that the Borough can take advantage of grant funds awarded for use in 2008.

Study Committee Meeting #3 (December 4, 2007)

At the third study committee meeting, Pashek Associates reviewed the second draft of the questionnaire as well as two concept plans (A,B) for the park. After the review of the draft questionnaire, the committee made the following comments:

- Somewhere on the front cover (the thank you letter) it needs to be clarified that the word "you" in the survey questions refers to "you or a member of your household"

- We do not ask for reasons why residents DON'T use the community park for various activities if they go elsewhere
- I think we are merely trying to survey and not put a slant on the questions. We are not trying to achieve a certain answer by asking the questions we ask.
- For the sake of brevity I think we should not add any more questions about the various facilities / activities at the park in general. Making the survey any longer may reduce the chances of those who receive it actually filling it out
- We should add the words "In your opinion" at the beginning of the 2nd sentence in Question #26.
- We should clarify in Question #27 that "personal contributions to assist with upgrades to the park or pool" would be in addition to pool membership fees.

The committee also made the following comments regarding Concept Plans A and B:

- A community center is something that would bring in revenue
- Community centers take up a lot of space and cost a lot of money - we should look at other things before that
- Concept 'A' doesn't show a skate park - we should proposed a large, unique skate park that would be destination for the entire surrounding area - one spot would be south of shelter #4 on the hillside inside the park loop road - a terraced skate park would be unique and we have power at this location so we could provide security lighting for safety
- Another use for the old tennis courts could be to relocate two of the new tennis courts there.
- We should look into recycled rubber for a surface for the park's trails - we could do a tire drive to collect tire rubber to use
- We should be careful in changing the direction of the lap lanes at the pool b/c if lap swimmers are swimming through a part of the shallow end, lots of little kids sit on the side of the pool even during adult swim. If swimmers are doing laps during general swim then they will be running into lots of little kids in the shallow end. We should turn the lap lanes but keep them in the deeper end of the pool where there is less traffic, and so lap swimmers can do safe kick-turns off of the pool walls.
- We need a bigger sign stating pool rules so kids that usually swim at the YMCA will know the rules are a little different here
- Filling in the deep end of the pool to 7-ft. depth is fine but it should not be any shallower (Pashek Associates explained that part of the discussion from the last meeting was that 7 feet was the minimum depth required beneath slides)
- We shouldn't have one-way signs / Do-Not-Enter signs at the start of the loop road - they are a hazard to sledders. We should use only painted arrows / markings on the pavement.
- Stretching stations near trailheads would be a nice addition to the trail system. An example of these stations is on a bike trail in Oil City, connecting to the Oil Creek Trail.
- We need to relocate the Rapp Shelter. It is not a Pashek Associates setting for a picnic, and the dust from the adjacent ball field infield is a problem on dry windy days. Even if the shelter moves, we should plant some hedges between the ball field and the main park road to block the dust.
- We could relocate the Rapp Shelter to the top of the hill near the other shelters.
- We need another large shelter
- We should remove Shelters #3 and #4 - they are older and need updated anyway, and they are

too small

- Relocate some of the play equipment around the shelters to one spot so it is consolidated
- Will this consolidated play area be visible from all the shelters? Parents will want to watch their kids play
- We should add horseshoe pits for casual use around the shelters
- The pool needs a shelter for private parties that are going on during regular pool hours
- The pool needs more shade structures. We used to have a collapsible awning until a wind storm damaged it.
- A permanent shade structure would be safer than the removable umbrellas we have now. They are heavy and can tip over if kids try to climb on them.
- We don't need a shelter for the bocce courts - we don't even know how much interest there will be in them, and a shelter may attract people there that we don't want hanging out there. Just bocce courts would be fine.
- Two other uses for the space in / near the old tennis courts are a sand volleyball court, and a multi-use open lawn space that can be used for any casual play.
- Removing one of the tennis courts is a Pashek Associates idea
- The tennis courts to remain could be relocated to make room for a skate park.
- Putting the skate park out in the open would deter vandalism / loitering.
- We could relocate the park entrance to the current parking lot exit
- The lower restroom should be moved - it would make it much easier to maximize parking in the main parking lot and to relocate the park entrance to the current parking lot exit.
- A walking trail connection switchbacking up the hill toward the Rotary Shelter (#2) and Shelter #1 would be nice since walkers wouldn't have to walk around the park loop road or directly up the hill.
- The parking lot east of the adult ball field on the top of the hill should be moved southward to prevent foul balls from landing in the parking lot as frequently.
- The proposed parking along the access road to the shelters on top of the hill should take into account some of the trees planted there. They are among the nicest in the park. The parking lot "islands" should be wherever the existing trees are.
- The Mussig Shelter label is on the storage / concessions building - it needs moved to the right (north) to the shelter.
- There was once an old wishing well along the trail near the southernmost portion of the park loop road. Restoring it could be a girls scout project.
- There should be a sidewalk along the western side of the park road extending to a spot near the pool, then crossing toward the pool. This would require a wider bridge over the road near the pool, and that bridge needs updated.
- We need a spot to relocate the lion drinking fountain.
- I don't like the parking lot near the existing playground near the front of the park - it encroaches too much on that green space. (Pashek Associates explained that the intent was to eliminate the need for playground users to park in the main parking lot and cross the park road)

In addition, Pashek Associates reviewed the three key person interviews completed to date, and solicited information on other possible key person interviewee choices from the committee.

Public Input Session #1 (January 30, 2008)

During the first public input session, Pashek Associates briefly reviewed the Master Plan and Pool Feasibility Study processes, and presented Concept Plans A and B for the park, as well as a Conceptual Plan for the Swimming Pool. The purpose of this meeting was to solicit feedback on these plans. To do so, Pashek Associates divided attendees into groups of 6-8 persons. Each group analyzed the plans and presented their opinions to the whole group. Comments made by each group are summarized below:

Group #1:

Pool Improvements:

- Eliminate the “L”-shaped walkway / barrier to the proposed zero-depth entry
- This concept shows a smaller pool while Zelig’s population is growing
- We should pipe the creek to allow more room for pool deck expansion
- Having two slides means we’ll need more lifeguards
- There will be a lot of traffic because the L-shaped walkway will force different pool users to use the same area
- We need an open slide into a shallower end of the pool (3’ depth) for younger kids
- This design doesn’t allow much room for kids to play catch, etc. in the shallow end of the pool
- Too many water features may require lifeguards to attain another certification
- We can’t have our mini-triathlons for kids with only 2 lap lanes
- We need more restrooms at the park to keep people out of the pool bathrooms
- This concept doesn’t allow enough room for our swim lesson classes - if we can’t have as many classes we won’t make as much money
- Extend the pool and deck to the northeast where we have 25 feet or so of flat area
- Move the slides back with the extended pool edge
- Move the zero-depth entry to the newly extended portion of the pool, leaving more room for lap lanes, etc.

Park Improvements - Concept ‘B’:

- Relocate the T-ball field to a spot between the existing Little League Field and Pittsburgh Street
- Leave Bocce courts in location from Concept ‘A’ (where existing old tennis courts are now)
- Remove the bocce courts on the hillside near the existing shelters to make room for another large shelter.
- Soccer/Football Field?
- Above-ground half-pipe and other equipment for skaters instead of an in-ground “pool” or bowl (above ground equipment is less expensive)
- Find another location to add a full-court basketball court

Positives - Concept ‘B’:

- Eliminating the T-Ball Field
- We like the idea of relocating shelters
- We like the new entrance location
- Areas where kids congregate are near entrances / in plain view, not hidden
- We like the new tennis court locations

Group #2:

Positives - Concept 'B':

- We like Concept 'B'
- The amphitheatre is a Pashek Associates idea

Park Improvements - Concept 'B':

- The tennis courts and skate park could have card locks and users pay a fee to use them and get a card
- Can we find room for a sand volleyball court?
- Is there a way to use some type of synthetic turf for the tennis courts?
- Install underground conduit / wiring for future lighting of ball fields
- We need more than one more large shelter
- There should be lighting on the bocce courts and horseshoe pits for extended use
- Can we find room for a putting green?

Pool Negatives:

- This is not an adult-friendly design
- There are not enough chairs
- There is not enough deck space

Pool Improvements:

- We could use some bleachers for kids to use while adults use the sunbathing chairs
- We need shade for the baby pool
- Piping the creek will provide more room for pool deck expansion

Group #3:

Pool Positives:

- Zero-depth entry into pool
- Spiral slide
- Addition of water features in the baby pool

Pool Improvements:

- Do not duplicate water features - have them only in baby pool
- Expand entire eastern side of pool
- Heat both pools

Positives - Concept 'A':

- Parking in the play area
- Removal of the basketball court in play area
- Extra parking near ball fields

Improvements - Concept 'A':

- The amphitheatre could provide additional revenue
- Move the proposed parking for the upper baseball field to the southeast (away from ball field and road)
- Bocce should be a low priority
- The skate park is a better idea than bocce
- Our #1 priority should be restroom improvements
- Use rubberized mulch instead of bark mulch in play area
- Need better drainage in play area

Positives - Concept 'B':

- Different entrance
- Move Rapp Pavilion to play area

Negatives - Concept 'B':

- The pee-wee ball field shouldn't be rotated
- The Mussig Shelter shouldn't be moved

Improvements - Concept 'B':

- Only replace tennis courts when beyond repair, then transfer to skate park

Group #4:

Pool Positives:

- Zero-depth entry for both main pool and baby pool

Pool Improvements:

- Heat both pools
- Leave out the L-shaped barrier or expand the pool
- We need hot water in the bathrooms
- Resurface the pool deck
- Better pool lawn maintenance
- More covered seating
- More sunbathing chairs and a larger deck
- Move the proposed spiral slide
- Don't duplicate water features in both the baby pool and shallow portion of the main pool

Park Improvements - both Concepts:

- We may need more maintenance staff - the beautification of the park will cost a lot of money but we have to maintain it after that
- We need better lighting in the playground area to help eliminate vandalism

Group #5:

Pool Positives:

- New Slide
- Lap Lanes

Pool Negatives:

- It will cost more to add an extra lifeguard to cover the sections of the pool created by the divider
- Mud runs off of the hillside and would run right across the pool deck into the zero-depth entry
- Mothers need to be able to sit closer to the pool so they can see their kids
- Pool is being closed off by L-shaped barrier. We'll lose the openness of the water

Pool Improvements:

- Tables with umbrellas for parents to sit / chat / eat.
- More lighting for the pool.

Park Improvements - Concept 'B':

- Lights for ball fields
- Keep tennis courts no matter what / where they are
- Resurface tennis courts while waiting for new ones - must keep continuity of current offerings
- One of the large pavilions needs to have a kitchen facility with oven, fridge, and grills

- Ball fields should also be usable for soccer
- We need some unique playground equipment
- Move skate park if noise is an issue - possibly along Pittsburgh Street just east of little league field
- Keep sled riding hill open
- Need a lighting plan that is cognizant of neighbors / light pollution

Positives - Concept 'B':

- Skate Park is a Pashek Associates idea - it keeps kids off the streets.
- Playground kept along Beaver Street
- Bocce Courts
- Walking Trails
- New Entrance location
- Amphitheater

Group #6:

Park Improvements - Both Concepts:

- We need larger restrooms on top of the hill if we are going to put more large shelters in.
- We don't have enough maintenance / storage space as it is, and we'll need even more if new facilities are built.

Other comments made after group presentations included the following:

- We should think about a large community hall - with capacity of 400 or 500 people. There are privately-owned halls in the area, but the biggest is the American Legion, which holds 250 people
- Kitchen facilities should be available in all large shelters, including the existing masonic shelter
- We need to double our maintenance staff / equipment to keep up with proposed improvements in the park

Study Committee Meeting #4 (March 18, 2008)

Pashek Associates held the fourth meeting of the study committee to present the Draft Master Plan for the park. After a brief explanation of proposed facilities, Pashek Associates explained that the committee needed to make a decision to remove one or more facilities from the park, as the proposed facilities added to the large number of existing facilities at the park resulted in severe crowding. In addition, Pashek Associates explained that more parking was sorely needed near the existing swimming pool and near the picnic grove on the hillside in the southern part of the park.

Comments made during an ensuing discussion on the Draft Master Plan are summarized below:

- We need to keep the park entrance on Division Street open - this plan only shows one entrance/exit - that is going to create a huge bottleneck for traffic coming into and out of the park. Right now cars have 5 options when leaving (2 turns from one exit, and 3 directions from another exit). This plan is cutting that to 2 options (2 turns from one exit

only).

- We need to add another exit somewhere and re-configure some parking.
- We may be able to move the tee-ball field from the park to the other Borough property near the Sportsman's Club on Front Street.
- We should put more parking where the t-ball field is proposed in this plan.
- The gazebo has been beaten up / vandalized pretty badly. Restoring it may not be worth it. I think that can be removed altogether instead of relocated.
- Right now park visitors park along Beaver Street when they can't park in the park's parking lots. If there are two entrance/exits, that on-street parking may need to be eliminated
- We really need to take into account the amount of park users that walk to the park - they don't need a parking space
- Atop the hill, we can get parking on both sides of the existing access road near the shelters with a little extra grading
- We should replace the tennis courts with another picnic shelter and more parking
- Right now people park all along the side of the road nearest to the adult ball field atop the hill. With an overhanging backstop and/or higher fence, we could add formal parking there.
- We must make sure there are barriers in place so people don't park in the grass. Just signs telling them to do so will not work.
- Lots of people using the two ball fields nearest to the school park in the existing gravel lot on Pittsburgh Street. Does the plan account for that? (Pashek Associates explained that those parking spaces are accounted for in the total parking analysis (attached))
- There is room for more parking beside the tennis courts.
- One possible other entrance/exit is onto the side street near the Masonic Lodge.
- The people on that street wouldn't want park traffic on their street.
- We could replace the bocce courts with more parking (Pashek Associates suggested that the maintenance area could be placed where the bocce courts were proposed on the plan, with a gated emergency / events exit onto the side street passing by the maintenance area)

Pashek Associates then reviewed the results of the questionnaire, noting encouraging statistics, such as 1) 77% of respondents live outside of Zelienople Borough, 2) 73% of respondents said municipalities besides Zelienople should financially support the park in some way, and 3) 41% of respondents said they would be willing to make a donation (over/above membership fees) for improvements to the swimming pool.

Next Pashek Associates presented two Concept Plans for the swimming pool. After an explanation of the facilities and improvements included in each plan, the committee chose Plan B as the preferred direction for the pool plan to take while noting that the next plan for the pool should also include the proposed sun deck expansion proposed in Plan A.

Study Committee Meeting #5 (May 28, 2008)

At this meeting, Pashek Associates presented a revised Draft Master Plan for the park, as well as a Draft Pool Plan. During discussions of both plans, the committee made the following comments:

Park Draft Master Plan:

- We may be able to fit more parking near the large (100' x 30') shelter. People double park there on the grass now. We could use it for overflow parking.
- Can we move the parking lot near the existing rotary shelter to the west about 20 feet? This would open up more space on the existing sled riding hill.
- Can we remove some of that parking? It is encroaching on the sled riding hill. (Pashek Associates explained that parking was a much higher priority than the sled riding area, which was one of many hills in the park used for sledding).
- I think parking is a much higher priority than sledding.
- We should move the skate park - it is in violation of an agreement between the Park Association and Mr. Tom Murray to leave that area as green space.
- We could add the skate park in the space of one of the existing tennis courts, and reduce the number of tennis courts from 3 to 2.
- We should move the restroom (map #22) to either a spot near Beaver Street, or add it onto the existing Baseball Association storage building.
- We should keep the tennis courts in their existing position because they are a lower priority than restrooms. We should move the proposed restroom (map #22) so that when the restrooms are built elsewhere, we still have use of the tennis courts.
- We need another restroom at or near the playground area, perhaps added onto the concessions / storage building near the youth ball field.
- I see the priorities in the park as parking, restrooms, and the pool. Their placement should be most important.
- The tennis courts are still used, but are not in Pashek Associates condition. This prevents heavier use -- they are so cracked that the court surface is difficult to play on.
- We need to switch the positions of the relocated Mussig Shelter and the proposed playground. This would make the play area safer because it would be bounded by fence on two sides, and would also lessen vandalism on the shelter because it would be right in front of the park.
- The maintenance access road to Culvert Street is a great idea. I'd like to see no garbage trucks on the loop road in the park at all, and with that access road we'd be able to get dumpsters picked up at the end of Culvert Street. The garbage truck has to drive up that street regularly anyway.
- The location for the maintenance garage is Pashek Associates - it's a relatively quiet facility so it's ok next to the adjacent houses.
- We should be able to screen the maintenance area from view pretty easily in its location on this plan.
- The maintenance garage may need to be bigger if it is to replace all the other storage space in the existing buildings throughout the park.
- We will need to approach the Mason's Lodge regarding an agreement to either purchase or use about 50' of their property in order to access Culvert Street. I think they will be pretty amicable to that idea - they don't use that part of their property.
- We may actually be able to provide the Mason's Lodge access via that part of their property as well if we build the maintenance drive / emergency access to the park.

Draft Pool Plan:

Comment 1

Comment 2

Public Input Session #2 (July 9, 2008)

At the second public input session, Pashek Associates briefly explained the master planning process and project progress to date, along with the expected use of the Master Plan as a fund-raising tool for future improvements to the recreation area. Following this explanation, Pashek Associates presented revised Draft Master Plans for the park and pool, explaining that these plans responded to public input received to date.

Comments received on the plans are summarized below:

General:

- The cost estimate, and phasing plans for both the pool and park need to be the next step, and the pool cost estimate needs to include costs for bath house improvements
- We need paved bike trail access to the park separate from roadways, and a bike trail within the park
- Kids need outdoor activities
- The entrance and parking needs to be softened up
- We could stripe off 4' or 5' of the loop road as a bike trail
- What purpose does moving the basketball court have?
- Can we avoid using hard pavement for roads / parking in all portions of the park?
- We should move and consolidate all concession stands
- Has lighting some facilities been considered?

Skate Park:

- A skate park provides a place where skaters can practice.
- It gives them the opportunity to improve.
- A bigger skate park will be able to generate money
- Move the tennis courts to the southern area of the park atop the hill, possibly near the proposed parking area for the proposed large pavilion.
- vandalism will happen no matter what
- must have a bigger skate park (8)
- do we even need the tennis courts? / not many tennis players (2)
- can we utilize the old tennis courts? (this space occupied by maintenance facility on draft plan)
- enlarging (elongating) the skate park is worth losing a few parking spaces (2)
- we should further limit the tennis space
- we should make the skate park a pay park,
- make the skate park the size of all three tennis courts (2)
- area kids have no legal place to skate (2)
- a skate park will bring in money to the park and community, tennis will not (2)
- a larger skate park will be needed to draw kids in from surrounding areas
- people will not pay to use a small skate park

- small skate parks in surrounding areas are free
- a better-designed / destination skate park will bring in more people willing to pay for its use (3)
- the existing tennis courts are used on a daily basis despite their bad condition
- one should be able to skate TO the park and around town also
- The Borough could charge a single reduced fee for those buying a day pass to both the pool and skate park
- A manager would be needed at the skate park to check tags, help in case of injury, etc.
- \$3 is a Pashek Associates starting price for a day pass at a skate park

Pool:

- ☛ We should keep the separate fenced-in baby pool
- ☛ I like the zero-entry at the big pool
- ☛ Depth at deep end of the pool needs to stay at 12 feet for diving lessons
- ☛ get rid of baby pool and put longer slide (into larger pool) in its place
- ☛ please re-consider refurbishing the deep end of the pool. Keep it at current depth - do not make it 7'-6" per plan. The cost of filling that deep end with concrete is high.
- ☛ As a former coach and swimmer it is important to keep the deep end, it is very popular with older swimmers.
- ☛ Lifeguard instruction includes diving which requires deep water.
- ☛ Please do not create the sloping sides in the deep end. The deep end should be full depth right at the pool wall (2)
- ☛ the deep end of the pool is too shallow (2)
- ☛ can we eliminate the separate baby pool and make it a splash pad or sand box?
- ☛ there is no need for a separate baby pool with the zero-depth entry into the big pool
- ☛ we only need one slide not three
- ☛ deep end should be 9-1/2 to 12 feet at least
- ☛ keep area in front of guardhouse open for visibility - move the big slide to a spot near the baby pool
- ☛ will there be any shade umbrellas added to the pool area?

Pashek Associates also explained the next steps in the project process, which include further plan revision, cost estimation, development of a phasing plan, and creating a report for review by the study committee and DCNR.

Study Committee Meeting #6 (August 20, 2008)

Text.....

Zelienople Borough Project Presentation (August 25, 2008)

Text.....

Key Person Interviews

The study committee identified several key persons during the public participation process. These individuals used or had interest in the Zelianople Community Park or represented organizations with interest in the park. During key person interviews, Pashek Associates briefly explained the Master Plan and Pool Feasibility Study to each interviewee. During ensuing discussions about the park, several general questions were posed. These questions differed for each interview. A list of interviewees and their affiliations or interests in the park are listed below. A complete summary of actual interviews and responses is included in the appendices of this report.

- **Ms. Marnie Repasky** - Executive Director, Zelianople / Harmony Chamber of Commerce
- **Mrs. Pat Griest** - Park Neighbor, Lighting Sales Representative, Senior Citizen, park trails user
- **Mrs. Greg Caprera** - Athletic Director at Seneca Valley High School
- **Mrs. Claire Torso** - Park Neighbor, interest in tennis and water aerobics, park trail user, former Girl Scout Leader
- **Mr. Charles Cantella** - Jackson Township Resident
- **Mr. Jeff Cowart** - Jackson Township Resident, Zelianople-Harmony Athletic Association (ZHAA) Member
- **Mr. Rich Goehring** - Harmony Borough Resident, Park Neighbor, interest in tennis, once involved with tennis leagues at the park
- **Mr. Ron Lamneck** - Buildings, Grounds, and Security Director at Seneca Valley High School, contact person for ZHAA regarding park changes on leased school property
- **Mr. Dave Szakelyhidi** - Harmony Borough Council, Harmony Water Authority

Questionnaire

Pashek Associates developed a questionnaire to solicit input on the park from residents of Zelianople Borough and surrounding municipalities. Generally, park users reside Zelianople Borough, Harmony Borough, Jackson Township, and Lancaster Township. Questionnaires were randomly distributed to 500 households within zip codes 16063 and 16037, which cover the four municipalities mentioned above.

The questionnaire asked questions regarding residents awareness and use of the Zelianople Community Park and Pool, preferred alternate locations (other parks) for activities offered at the park, possible improvements to park facilities, the need for additional facilities, and park and pool funding.

Questionnaire results are included in the appendices of this report.

FACILITY DESIGN GUIDELINES

It is important to provide properly located, safe recreation facilities that are accessible to all park visitors. Safety issues include: sports field orientation, safe play settings, age-appropriate play

equipment, safety zones, barriers to park and neighborhood traffic, and properly-designed trails.



ADA Accessibility

Designing for accessibility means ensuring that facilities meet the needs of the physically- and mentally-challenged; as well as individuals experiencing temporary disabilities. This accommodates not only those with disabilities, but also makes it easier for the general public to use the facilities. It is imperative that the Borough take steps necessary to provide facilities accessible to all park users.

Accessibility, in design terms, is described by the Americans with Disabilities Act (ADA), which guarantees equal opportunity for individuals with disabilities to participate in the mainstream of public life. To do so, the ADA sets requirements for facilities to prevent physical barriers that prevent the disabled from using those facilities. When recreational facilities are built or improved, they must comply with ADA standards by providing an accessible route to the area of use and spectator areas.

Standards / Guidelines include:

- *Consumer Product Safety Commission's "Handbook for Public Playground Safety"* - establishes equipment, use zone, and protective safety surfacing requirements.
- *National Recreation and Park Association's "Facility Development Standards"* - establishes facility dimensions, orientation, and slope requirements.
- *American Society of Testing Materials "Standard Consumer Safety Performance Specification for Public Playground Safety" (ASTM F 1487)* - establishes access route, equipment, use zone, and protective safety surfacing requirements.
- *American Society of Testing Materials "Standard Specification for Determination of Accessibility of Surface Systems Under and Around Playground Equipment" (ASTM F 1951)* - defines minimum requirements for accessible protective surfacing materials.
- *American Society of Testing Materials "Standard Specification for Impact Attenuation of Surface Systems Under and Around Playground Equipment" (ASTM F 1292)* - defines minimum requirements for impact attenuation of protective surfacing materials.
- *Americans with Disabilities Accessibility Guidelines for Buildings and Facilities, Play Areas, Finale Rule, www.access-board.gov* - establishes requirements for playground equipment accessibility.
- *Universal Trail Assessment Process (UTAP), www.beneficialdesigns.com/trails/utap.html*

- Based on the promise that trails should be universally designed to serve all users, UTAP encourages land managers to provide users with specific information regarding the trail so users can make an informed decision as to whether they have the ability to use the trail.
- *Architectural and Transportation Barriers Compliance Board's "Regulatory Negotiation Committee on Accessibility Guidelines for Outdoor Developed Areas"*, September 1999, www.access-board.gov - sets minimum requirements for accessible trails, access routes, resting opportunities, benches, utility connections, and trash receptacles.
- *American Association of State Highway Transportation Officials "Guide for the Development Of Bicycle Facilities"*.
- *Americans with Disabilities Act (ADA), Title II Requirement for Public Facilities*, www.access-board.gov

Sports Facility Standard Sources

Additionally, many facilities must comply with specific standards established for their respective activity. Sports facility standards, which must be understood in order to properly locate the facilities being considered in this study, include:

- *National Federation of State High School Association's "Court and Field Diagram Guide"*.
- *International Mountain Biking Association*, www.imba.com - establishes standards for sustainable multi-use trails
- *"Trail Planning, Design, and Development Guidelines"*, Minnesota Department of Natural Resources, Trails, and Waterways
- *"Natural Surface Trails by Design: Physical and Human Design Essentials of Sustainable, Enjoyable Trails"*, by Troy Scot Parker

Park Program Facility Guidelines

Taking into consideration the aforementioned standards and guidelines, in combination with Pashek Associates' prior experience, the following facility development guidelines were created for Zelianople Community Park:

Trails (in forested areas)

- Forested Areas: 3' minimum width, driving surface aggregate (DSA -- various sizes of aggregate, as used in dirt and gravel roads) or earth surface, maximum 10% slope, located and graded in such a manner as to minimize disturbance and erosion

Accessible Walkways (in open areas)

- 5' minimum width
- Maximum 5% slope
- Firm and Stable surface (meeting ADA requirements)

Softball/Baseball Fields

- Meet National Federation of State High School Association regulations for field size, fencing, and field features
- Grade away from pitcher's mound at maximum 2% slope (1% to 1.5% preferred)
- To minimize sun glare, a line running from home plate to 2nd base should point East-Northeast if possible; Southeast is also acceptable

Basketball Courts

- Minimum 90' x 60' paved area
- Minimum 84' x 50' court size (High School Standard Size)
- Long axis of court oriented north-south, never east-west
- Maximum 1.5% slope, minimum 0.5% slope for drainage
- Asphalt surfacing with color coat and painted lines
- 12-foot chain-link fence enclosure



Tennis Courts

- 12-foot chain-link fence enclosure 120' x 108' (two courts)
- Doubles Court - 36' x 78' court size
- 21-foot space between ends of court and fence enclosure; 12-foot space between sides of court and fence enclosure or adjacent court
- Long axis of court oriented north-south, never east-west
- Maximum 1.5% slope, minimum 0.5% slope for drainage, courts should drain in a direction that offers no advantage to players on one side of the court
- One 8-foot aluminum players bench per court



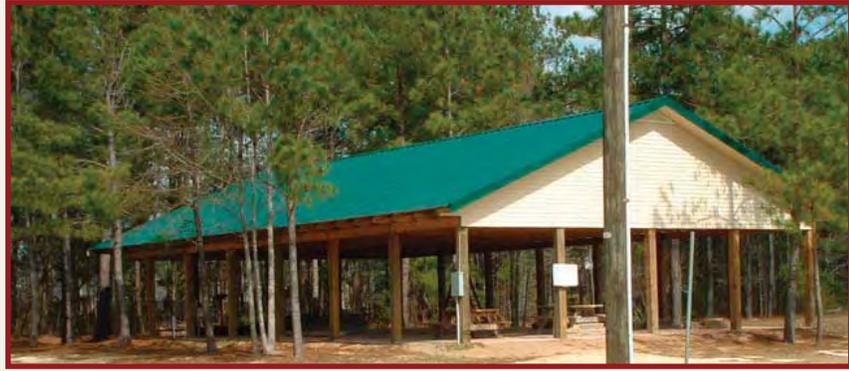
Amphitheater

- Capacity for 150-200 people on formalized bleacher seating (with concrete base)
- Informal lawn seating surrounding bleachers and stage
- Maximum 5% slope on access walks
- Concrete stage with electric service
- Adjacent handicapped-accessible parking

Picnic Shelters

- Size varies

- Maximum 5% slope for accessibility
- Concrete pad beneath shelter
- Electrical service and charcoal grills at all shelters
- Picnic tables, drinking fountain, and trash receptacles at all shelters
- Handicapped access ramps, as needed
- Adequate landscaping for shade, especially on southern and western sides



Concession Stand / Storage Building

- Size may vary according to need
- Electric and water service
- Storage room for sports league equipment
- Maximum 5% slope on access walks
- Large paved area at window / counter to accommodate customer lines
- Architectural plans to be developed by qualified architect or engineer

Restrooms

- Size may vary according to need
- Plumbing for water and sanitary sewer service
- Electric service
- Maximum 5% slope on access walks
- Architectural plans to be developed by qualified architect or engineer

Roadways

- 20' cartway
- 10% maximum slope; 1% minimum slope for drainage
- Asphalt surfacing without curbs
- Security lights - security lighting needed for all proposed roads

Parking

- 9' x 20' parking stalls
- 20' access aisles
- Islands (width may vary) containing shade trees between rows of parking spaces at both ends of each row of parking
- Internal landscape islands containing shade trees
- 8' wide asphalt accessible stalls with 5' wide accessible aisle (maximum 2% slope)
- 8' wide asphalt accessible van stalls with 8' wide accessible aisle (maximum 2% slope)
- Gravel surfacing for all other parking
- Pre-cast concrete wheel stops

LOCATION AND SAFETY

In addition to the above requirements, thought must be given to the appropriate location for some proposed facilities. Some forested portions of the park are somewhat remote, despite being nearly surrounded by developed residential areas. This remoteness makes safety an issue along trails and at other facilities in the park. Consideration was given throughout the design process to safety and to visibility from surrounding streets and other parts of the park.

PARKING STANDARDS

Parking must be considered for almost every recreation facility. It would not be feasible to provide parking required for peak use events, such as July 4th festivities, Horse Trader Days, or other large public gatherings. Zelenople Borough would be investing substantial funds in capital improvements that would only be utilized a few times each year. Excess parking facilities occupies space that could have been available for the development of other recreational facilities, and developable space remaining in the Zelenople Community Park is already at a premium. All plans included in this study propose parking in close proximity to all recreation facilities for ease of access and comfort to park visitors.

“Proper sizing” of parking spaces also minimizes parking lot surface area and reduces storm run-off. Parking spaces proposed in all plans produced as part of this study are 9 feet wide and 20 feet long, with the exception of handicapped-accessible spaces, which are 8 feet wide and 20 feet long, with a 5-foot (car space) or 8-foot (van space) striped access aisle adjacent. To further reduce parking lot surface area, all plans in this study proposed 20-foot wide drive aisles.

DESCRIPTION OF CONCEPT PLANS

The Concept Plans for the park and pool identified *potential* design ideas generated by the project study committee, along with others developed by Pashek Associates. These ideas included vehicular and pedestrian circulation patterns, removal / replacement of existing recreation facilities, development of proposed facilities, and other proposed improvements. The purpose of the concept plans was to expose the committee to several design ideas in an attempt to identify those to be included in the Draft Master Plan.

Improvements shown in the Concept Plans included the following:

Park Concept Plan 'A'

- Playground expansion
- 3-court bocce facility
- Amphitheater with 150-200 person capacity
- Proposed parking lots throughout the park (184 spaces including 20 handicapped-accessible spaces)
- Re-alignment of park exit drive onto Beaver Street
- Improvements to the existing Swimming Pool (per Pool Concept Plan)

- ☛ Resurfacing and underdrainage for the existing basketball court
- ☛ Repairs to existing restrooms
- ☛ Riparian Buffer Plantings along streambanks just north of the existing pool and existing gazebo
- ☛ Proposed walking path re-alignment
- ☛ Installation of trail signage including maps and rules at trailheads
- ☛ Consolidation of playground equipment at the picnic grove in the center of the park loop road to a location near existing Shelter #1

Park Concept Plan 'B'

- ☛ Playground expansion
- ☛ Relocation of Rapp and Mussig Shelters
- ☛ Two proposed horseshoe courts
- ☛ Re-organization of main parking area
- ☛ Relocation of main park entrance / exit
- ☛ Relocation of tennis courts and reduction in number of courts from 3 to 2
- ☛ Re-orientation of existing basketball court
- ☛ Proposed skate park featuring in-ground and above-ground equipment
- ☛ Replacement of lower (northern) park restroom
- ☛ Repairs to upper (southern) park restroom
- ☛ Re-orientation of youth ball field west of pool to minimize sun glare
- ☛ Relocation of existing tee ball field
- ☛ Relocation of existing gazebo
- ☛ Improvements to the existing Swimming Pool (Per Pool Concept Plan)
- ☛ Consolidation of playground equipment at the picnic grove in the center of the park loop road to a location near existing Shelter #1
- ☛ Amphitheater with 150-200 person capacity
- ☛ Two proposed picnic shelters (one 25' x 15', one 100' x 30' with kitchen and restrooms)
- ☛ Two proposed bocce courts near picnic grove
- ☛ Proposed parking in several lots throughout the park (278 spaces including 22 handicapped-accessible spaces)
- ☛ Installation of trail signage including maps and rules at trailheads
- ☛ Proposed walking path re-alignment

Swimming Pool Concept Plan

- ☛ Zero-depth entries to the main pool and tot pool
- ☛ Water spray features in tot pool and shallow area of main pool near zero-depth entry
- ☛ Proposed spiral tube slide
- ☛ Retainage of 2 lap lanes
- ☛ Proposed fencing preventing direct line of access from the bath house to the 12-foot deep section of the pool, and separating tot pool and main pool
- ☛ Proposed concrete divider for lifeguard surveillance of zero-depth entry area at main pool
- ☛ Proposed additional access ladder

- Proposed removable post for divider rope at spiral slide pool entry area
- Proposed infrastructure / filtration / chemical system improvements

The study committee's comments on the concept plans overwhelmingly favored Park Concept Plan 'B'. Most comments for the pool concept plan favored further revisions to the plan. These comments were considered in the Draft Master Plan.

- 1 Playground Area Improvements:**
- Remove existing asphalt basketball court
 - Relocate Lion Head drinking fountain
 - Relocate play structure or replace with new equipment
 - Expand swings area
 - Shredded bark mulch safety surface
 - 25-space parking lot including 1 accessible space
 - Concrete walkway with benches for parents

- 12 Youth Ball Field Area Improvements:**
- Install gravel access drive to concessions building
 - Install handicapped-accessible parking adjacent to the Rapp Shelter
 - Install shade trees and evergreen hedge near Rapp Shelter to increase privacy.
 - Install access walkways to existing dugouts and bleachers

- 13 Picnic Grove Playground Improvements:**
- Replace timber edgers
 - Replace shredded bark mulch safety surface with new mulch underlain by gravel base for drainage
 - Remove any equipment in disrepair
 - Install access walkways to playgrounds
 - Remove equipment near Shelter #3 to provide room for handicapped access ramp

- 14 Bocce Facility:**
- 3 compacted aggregate courts
 - 10 parking spaces including 1 accessible space
 - Install shade trees and access walkways

- 2** Develop new trail connections / re-align existing trail.
- 3** Re-align exit road from existing main parking lot in order to provide direct vehicular access to tee-ball field and Mussig Shelter.

- 4** Replace any existing drainage between ball fields in the northeastern part of the park with new storm drains and inlets. Tie any underdrains from adjacent fields into this storm system.

- 5 Streambank Restoration:**
- Riparian buffer plantings (native grasses and shrubs)
 - Retain access to stream while stabilizing banks
 - Reduces maintenance (less mowing)

- 6 Swimming Pool Improvements:**
- Refer to Swimming Pool Feasibility Study Detail Plans

- 7** Install "One-Way" and "Do Not Enter" signage at road intersection to clarify one-direction traffic on the park loop road.

- 8 Install Signage at all Trailheads**
- Trail system mapping
 - Trail difficulty ratings (color-coded)
 - Trail rules
 - Trail distances
 - Current location on trail map ("You Are Here") indicator

- 9 Amphitheater:**
- Terraced lawn seating suitable for lawn chairs
 - Seating capacity 150-200 plus informal seating on surrounding hillside
 - Handicapped-accessible parking and walkway to front of stage
 - Concrete Stage with utility service
 - Trail access from proposed parking lot atop hill just north of existing adult baseball field

- 10** Proposed parking for adult baseball field, pavilions, and amphitheater (106 spaces total, including 9 handicapped-accessible spaces). Install access walkways from parking to various facilities.

- 11 Basketball Court Improvements:**
- Resurface court with asphalt base and color coat
 - Install access walkway from adjacent parking lot
 - Install underdrainage in existing swale on eastern side of court

Legend

- PROPOSED TRAIL
- EXISTING PARK HIKING TRAIL
- EXISTING BUILDING
- PROPOSED BUILDING
- PROPOSED TREELINE
- PROPOSED SHADE TREE
- PROPOSED ORNAMENTAL TREE
- PROPOSED EVERGREEN TREE
- EXISTING ROADWAY/PARKING
- PROPOSED ROADWAY/PARKING
- PROPOSED PAVED WALKWAY

- 15 Restrooms:**
- Repair structural problems
 - Replace outdated or malfunctioning water, sanitary sewer, or electric systems
 - Provide handicapped access
 - Improve exterior and interior as needed



NOTES:

- 1) Property boundary information was taken from a Property Boundary Survey completed by William F. Hummel, PE and dated November 25, 1977. Partial topographic survey information was taken from an Existing Conditions Plan for Zelenople Community Park completed by James A. Sperdute, R.S. and dated April 8, 1996. Aerial photography was provided by DCNR and the USGS through the PA MAP program. Additional site information was gathered through available Geographic Information Systems (GIS) data as well as through direct field observation by Pashek Associates in October 2007.
- 2) Locations of all site features and facilities are approximate. Pashek Associates makes no claims to the accuracy of utility locations or other facilities.



Zelenople Community Park Master Plan

Zelenople Borough
Butler County, Pennsylvania

CONCEPT PLAN 'A'

80 0 80 160

Date: 11/30/07 Scale: 1" = 80'
Contour Interval: 2'-0"

PASHEK ASSOCIATES
A Pennsylvania Corporation

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info@pasheka.com
619 East Ohio Street
Pittsburgh, PA 15212

- 1 Playground Area Improvements:**
- Remove existing asphalt basketball court
 - Relocate Lion Head drinking fountain
 - Relocate play structure or replace with new equipment
 - Relocate swings
 - Shredded bark mulch safety surface
 - Accessible walkways from parking lot and pavilions
 - Concrete walkway with benches for parents

- 2 Pedestrian Allee:**
- Align walkways with existing park entrance road alignment to increase visibility
 - Shade trees planted in center of existing road alignment to avoid interference with overhead wires in the future when trees mature.

- 3 Relocate Rapp and Mussig Shelters to green space near playground**

- 4 Replace any existing drainage between ball fields in the northeastern part of the park with new storm drains and inlets. Tie any underdrains from adjacent fields into this storm system.**

- 5 Streambank Restoration:**
- Riparian buffer plantings (native grasses and shrubs)
 - Retain access to stream while stabilizing banks
 - Reduces maintenance (less mowing)

- 6 Swimming Pool Improvements:**
- Refer to Swimming Pool Feasibility Study Detail Plans

- 7 Create new park entrance road near existing parking lot exit**

- 8 Remove existing restroom building**

- 9 Proposed Parking Areas:**
- 274 total spaces (8 lots)
 - 18 handicapped accessible spaces

- 10 Install "One-Way" and "Do Not Enter" signage at road intersection to clarify one-direction traffic on the park loop road.**

- 11 Install Signage at all Trailheads**
- Trail system mapping
 - Trail difficulty ratings (color-coded)
 - Trail rules
 - Trail distances
 - Current location on trail map ("You Are Here") indicator

- 12 Rotate Basketball Court:**
- New asphalt base and color coat court surface
 - Re-use goals, backboards, and supports if possible
 - Install underdrains on uphill (eastern) side of court to control drainage

- 13 Youth Ball Fields / Tee Ball Field:**
- Relocate concessions building
 - Rotate Youth Ball Field
 - Relocate Tee Ball Field
 - Install shade trees and evergreen hedge to block dust from infields during windy days
 - Install access walkways to dugouts / players benches and bleachers
 - Relocate drinking fountain
 - Re-align existing walkway
 - Install fence (existing field near basketball court)

- 14 Upper Playground Improvements:**
- Consolidate equipment into one location
 - Install timber edgers
 - Install shredded bark mulch safety surface with new mulch underlain by gravel base for drainage
 - Remove any equipment in disrepair
 - Install access walkways to playground

- 15 Upper Picnic Grove Improvements:**
- 2 compacted aggregate bocce courts
 - Re-organized parking including handicapped-accessible spaces
 - Access walkways and ramps
 - Remove Shelters #3 and #4
 - Construct Large Shelter (100' x 30')
 - Relocate Shelter south of proposed large shelter
 - Re-align access road



Legend

- PROPOSED TRAIL
- EXISTING PARK HIKING TRAIL
- EXISTING BUILDING
- PROPOSED BUILDING
- PROPOSED TREELINE
- PROPOSED SHADE TREE
- PROPOSED ORNAMENTAL TREE
- PROPOSED EVERGREEN TREE
- EXISTING ROADWAY/PARKING
- PROPOSED ROADWAY/PARKING
- PROPOSED PAVED WALKWAY

- 16 Restrooms:**
- Repair structural problems
 - Replace outdated or malfunctioning water, sanitary sewer, or electric systems
 - Provide handicapped access
 - Improve exterior and interior as needed

- 17 Amphitheater:**
- Terraced lawn seating suitable for lawn chairs
 - Seating capacity 150-200 plus informal seating on surrounding hillside
 - Handicapped-accessible parking and walkway to front of stage
 - Concrete Stage with utility service
 - Trail access from proposed parking lot atop hill just north of existing adult baseball field

- 18 Create trail connection across hillside to picnic shelters, playground, and bocce courts.**

- 19 Skate Park:**
- 10' chain link fence enclosure for safety
 - Concrete surfacing
 - "Bowl" in-ground skating area
 - Rails, Grind boxes, etc. for tricks
 - Open location allows maximum visibility from all sides (in order to minimize loitering, vandalism)

- 20 Proposed Restroom Building:**
- Men's, Women's plumbed restrooms
 - Small storage room
 - Central location to facilities in the northeastern part of the park

- 21 Relocate Tennis Courts**

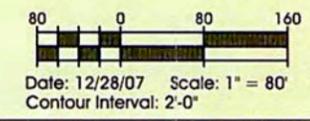
NOTES:

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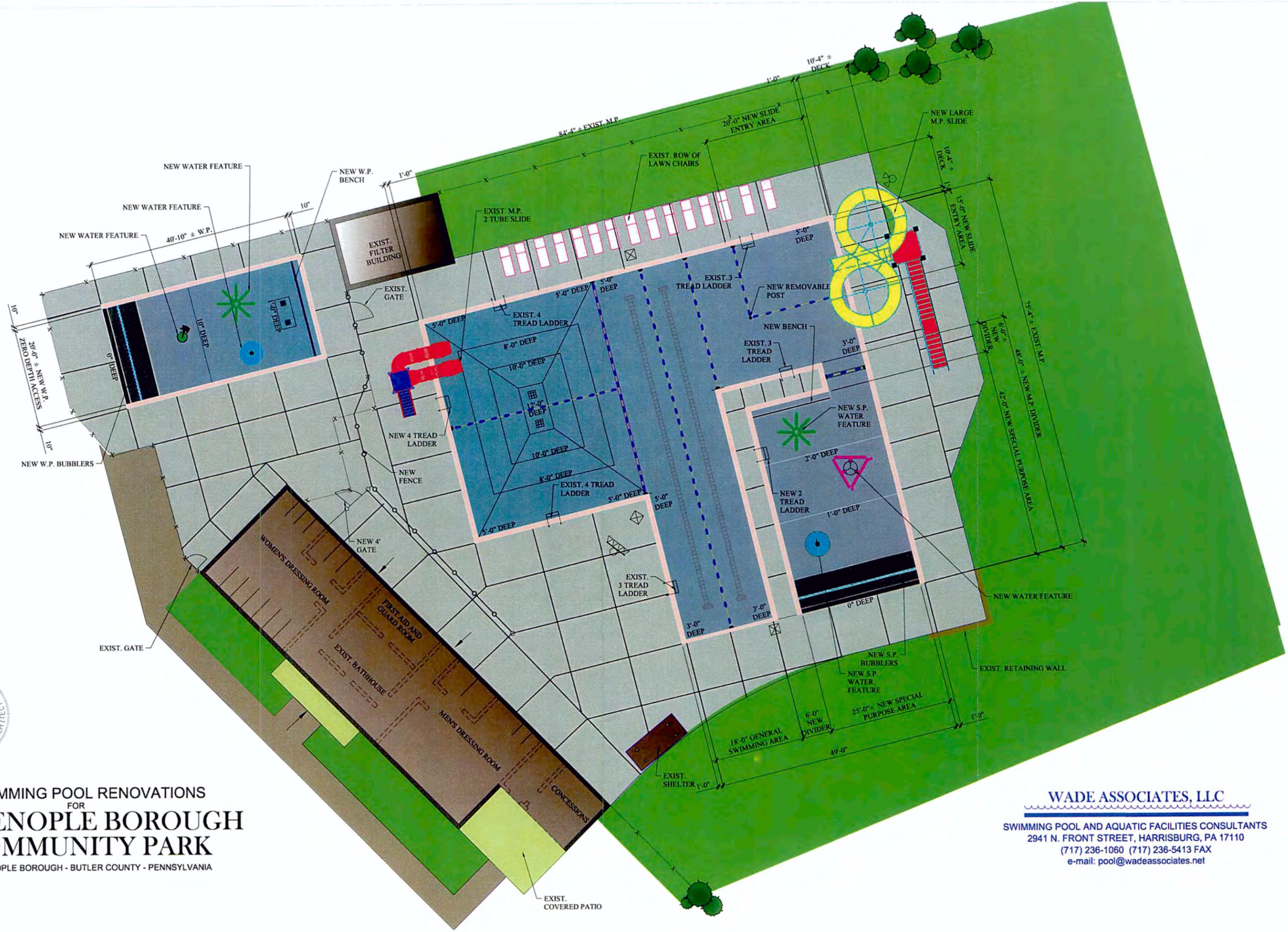


Zelenople Community Park Master Plan
Zelenople Borough
Butler County, Pennsylvania

CONCEPT PLAN 'B'



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619 East Ohio Street
Pittsburgh, PA 15212



SWIMMING POOL RENOVATIONS
FOR
**ZELIENOPE BOROUGH
COMMUNITY PARK**
ZELIENOPE BOROUGH - BUTLER COUNTY - PENNSYLVANIA

WADE ASSOCIATES, LLC
SWIMMING POOL AND AQUATIC FACILITIES CONSULTANTS
2941 N. FRONT STREET, HARRISBURG, PA 17110
(717) 236-1060 (717) 236-5413 FAX
e-mail: pool@wadeassociates.net

DRAFT MASTER PLAN DESCRIPTION

The Draft Master Plan incorporates favorable elements from the various concept plans and addresses general recreation comments given at study committee meetings and public at the first public input session. By addressing further public input, the Draft Master Plan strives to meet recreation needs of the community. Facilities and improvements included in the Draft Master Plan and Draft Swimming Pool Plan are as follows:

Draft Park Master Plan

- Playground and swings expansion
- Relocation of Rapp and Mussig Shelters
- Two proposed horseshoe courts
- Re-organization of main parking area
- Proposed secondary entrance / exit onto Beaver Street
- Proposed vehicular access to existing concessions stand and storage building east of newly-constructed youth ball field
- Relocation of tennis courts and reduction in number of courts from 3 to 2
- Re-orientation of existing basketball court
- Proposed skate park featuring above-ground equipment
- Replacement of lower (northern) park restroom
- Repairs to upper (southern) park restroom
- Re-orientation of youth ball field west of pool to minimize sun glare
- Proposed concessions stand and storage building for youth ball field west of swimming pool
- Removal of existing tee ball field
- Removal of existing gazebo
- Proposed riparian buffer plantings along stream banks just south of main playground
- Improvements to the existing Swimming Pool (Per Draft Pool Plan)
- Consolidation of playground equipment at the picnic grove in the center of the park loop road to a location near existing Shelter #1
- Amphitheater with 150-200 person capacity
- Three proposed picnic shelters (one 25' x 15', one 60' x 25' with kitchen and restrooms, one 100' x 30' with kitchen and restrooms)
- Proposed parking in several lots throughout the park (353 spaces including 30 handicapped-accessible spaces)
- Proposed walking path re-alignment
- Installation of trail signage including maps and rules at trailheads
- Proposed trail re-alignment and addition of new trail sections
- Proposed maintenance facility at location of existing old tennis court (unused)

Draft Pool Plan

- Zero-depth entries to the main pool and tot pool
- Water spray features in tot pool and shallow area of main pool near zero-depth entry
- Proposed spiral slide near existing bath house

- Change of water depth (filling) from 12'-0" to 7'-6" in deep end of pool
- Replacement of drains in deep end of pool
- Retainage of 3 lap lanes
- Proposed fencing preventing direct line of access from the bath house to the 12-foot deep section of the pool, and separating tot pool and main pool
- Proposed concrete divider for lifeguard surveillance of zero-depth entry area at main pool
- Proposed additional access ladder
- Proposed contrasting tile stripe designating threshold between zero-depth entry and main pool
- Proposed sun deck expansion (wooden decking)
- Proposed infrastructure / filtration / chemical system improvements

- 1 Playground Area Improvements:**
- Remove existing asphalt basketball court and outdated or damaged playground equipment
 - Relocate play structure or replace with new equipment
 - Consolidate playground areas (not including swings)
 - Extend swingset by 2 bays
 - Install rubberized safety surface under all equipment
 - Accessible walkways from parking lot and pavilions
 - Install benches for parents

- 2 Relocate Rapp and Mussig Shelters to green space near playground**

- 3 Replace any existing drainage between ball fields in the northeastern part of the park with new storm drains and inlets. Tie any underdrains from adjacent fields into this storm system.**

- 4 Streambank Restoration:**
- Riparian buffer plantings (native grasses and shrubs)
 - Retain access to stream while stabilizing banks
 - Reduces maintenance (less mowing)

- 5 Swimming Pool Improvements:**
- Refer to Swimming Pool Feasibility Study Detail Plans

- 6 Create additional park entrance / exit road**

- 7 Remove existing restroom building**

- 8 Proposed Parking Areas:**
- 353 total spaces (9 lots)
 - 30 handicapped accessible spaces
 - Additional gravel parking (existing) along Pittsburgh Street and on-street parallel parking along Beaver Street

- 9 Install "One-Way" and "Do Not Enter" signage at road intersection to clarify one-direction traffic on the park loop road and hilltop picnic grove access roads.**

- 10 Large Picnic Shelter:**
- 100' x 30' with restrooms and enclosed kitchen
 - Shares parking with adult ball field and trailheads

- 11 Install Signage at all Trailheads**
- Trail system mapping
 - Trail difficulty ratings (color-coded)
 - Trail rules
 - Trail distances
 - Current location on trail map ("You Are Here") indicator

- 12 Rotate Basketball Court:**
- New asphalt base and color coat court surface
 - Re-use goals, backboards, and supports if possible
 - Install underdrains on uphill (eastern) side of court to control drainage

- 13 Maintenance Facility:**
- 20' x 50' maintenance garage / storage building
 - 15' wide paved, gated access road (with gated emergency access to Culvert Street)
 - Evergreen screening near property lines
 - Gravel-paved outdoor storage area

- 14 Youth Ball Field Improvements:**
- Relocate concessions / storage building
 - Rotate Youth Ball Field
 - Install evergreen trees to screen neighboring properties
 - Install access walkways to dugouts / players benches and bleachers
 - Relocate drinking fountain
 - Re-align existing walkway

- 15 Little League / Youth Ball Field Improvements:**
- Install dugouts with players benches
 - Install access walkways
 - Install conduit for future light poles on Little League Field

- 16 Upper Playground Improvements:**
- Consolidate equipment into one location
 - Install timber edgers
 - Install rubberized safety surface
 - Remove any equipment in disrepair
 - Install access walkways to playground

- 17 Upper Picnic Grove Improvements:**
- Re-organized parking and access road
 - Widen access roads to 15 feet
 - Access walkways and ramps
 - Remove Shelters #1, #3, and #4
 - Construct Large Shelter (60' x 25') with restrooms and kitchen.
 - Construct small Shelter (25' x 20')

Legend

- PROPOSED TRAIL
- EXISTING PARK HIKING TRAIL
- EXISTING BUILDING
- PROPOSED BUILDING
- PROPOSED TREELINE
- PROPOSED SHADE TREE
- PROPOSED ORNAMENTAL TREE
- PROPOSED EVERGREEN TREE
- EXISTING ROADWAY/PARKING
- PROPOSED ROADWAY/PARKING
- PROPOSED PAVED WALKWAY

- 18 Upper Restroom Improvements:**
- Repair structural problems
 - Replace outdated or malfunctioning water, sanitary sewer, or electric systems
 - Provide handicapped access
 - Improve exterior and interior as needed
- 19 Amphitheater:**
- Terraced lawn seating suitable for lawn chairs
 - Seating capacity 150-200 plus informal seating on surrounding hillside
 - Handicapped-accessible parking and walkway to front of stage
 - Concrete Stage with utility service
 - Trail access from proposed parking lot atop hill just north of existing adult baseball field
- 20 Create trail connection across hillside to picnic shelters and playground.**
- 21 Skate Park:**
- 10' chain link fence enclosure for safety
 - Concrete surfacing
 - Above-ground features: 30' wide half-pipe, rails, grind boxes, etc. for tricks
 - Location provides easy visibility from Pittsburgh and Beaver Streets and also distance from adjacent residences
- 22 Proposed Restroom (20' x 20):**
- Men's, Women's plumbed restrooms
 - Central location to facilities in the northeastern part of the park
- 23 Relocate Tennis Courts (2)**



NOTES:

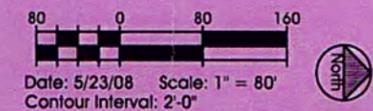
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Zelenople Community Park Master Plan

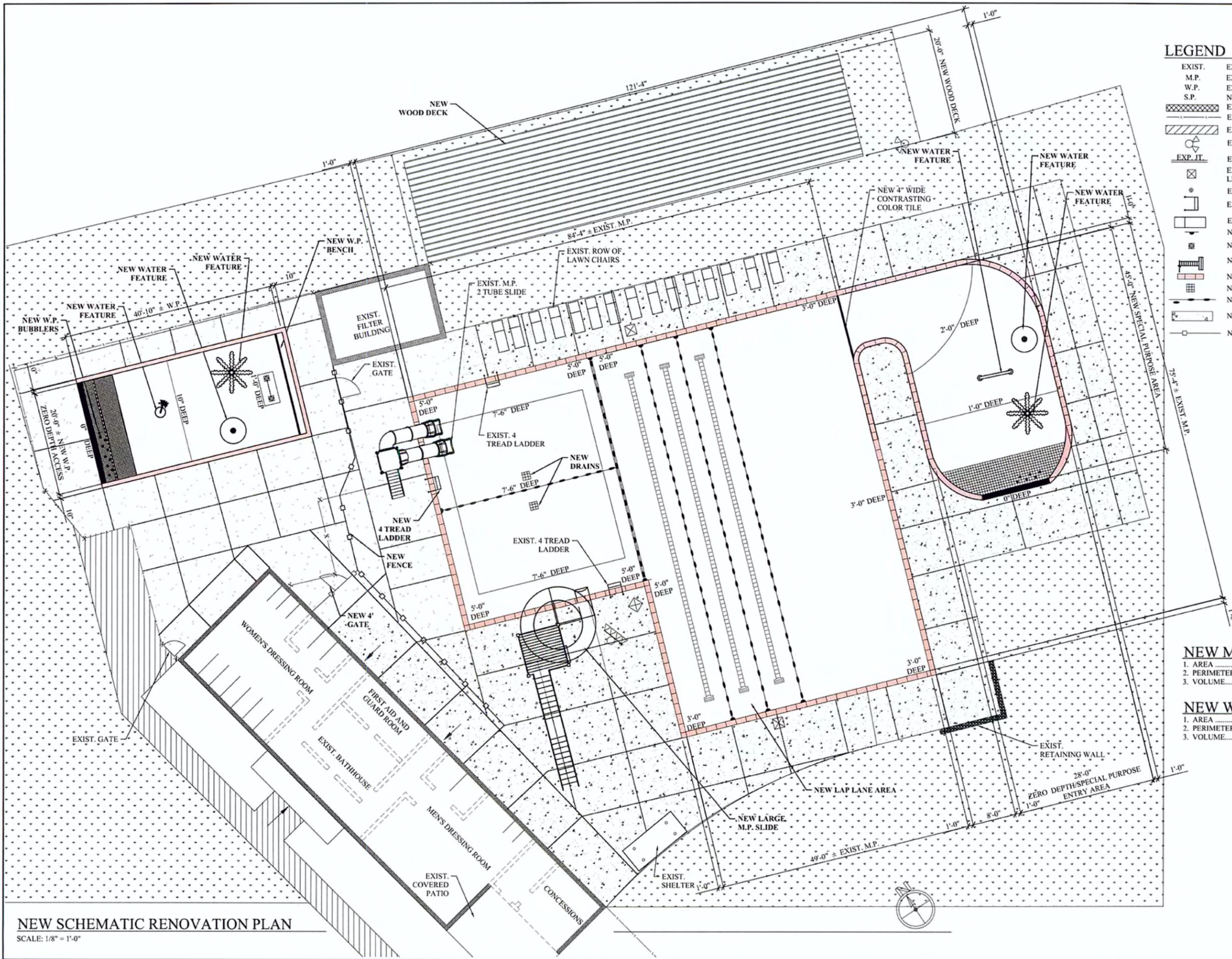
Zelenople Borough
Butler County, Pennsylvania

DRAFT MASTER PLAN



PASHEK ASSOCIATES
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LEGEND

- EXIST. EXISTING
- M.P. EXIST. MAIN POOL
- W.P. EXIST. WADING POOL
- S.P. NEW SPECIAL PURPOSE AREA
- [Symbol] EXIST. BUILDING WALL
- [Symbol] EXIST. FENCE LINE
- [Symbol] EXIST. SIDE WALK
- [Symbol] EXIST. LIGHT POLE TO REMAIN
- EXP. JT. EXIST. EXPANSION JOINT
- [Symbol] EXIST. M.P. PORTABLE LIFEGUARD CHAIR
- [Symbol] EXIST. W.P. DRAINS
- [Symbol] EXIST. M.P. LADDER
- [Symbol] EXIST. LOUNGE CHAIRS
- [Symbol] NEW M.P. WALL ANCHORS
- [Symbol] NEW W.P. DRAINS
- [Symbol] NEW M.P. LAP LANE LINES
- [Symbol] NEW M.P. AND M.P. COPING
- [Symbol] NEW M.P. DRAINS
- [Symbol] NEW LIFELINE
- [Symbol] NEW DECK
- [Symbol] NEW FENCE

NEW M.P. DATA

- 1. AREA6,395 SF.
- 2. PERIMETER.....441'-5" LF.
- 3. VOLUME.....193,956 GALS.

NEW W.P. DATA

- 1. AREA800 SF.
- 2. PERIMETER.....120'-0" LF.
- 3. VOLUME.....4,423 GALS.

WADE ASSOCIATES, LLC
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SWIMMING POOL RENOVATIONS
 FOR
ZELIENOPLE BOROUGH
COMMUNITY PARK
 ZELIENOPLE BOROUGH - BUTLER COUNTY - PENNSYLVANIA

DRAFT POOL RENOVATION PLAN



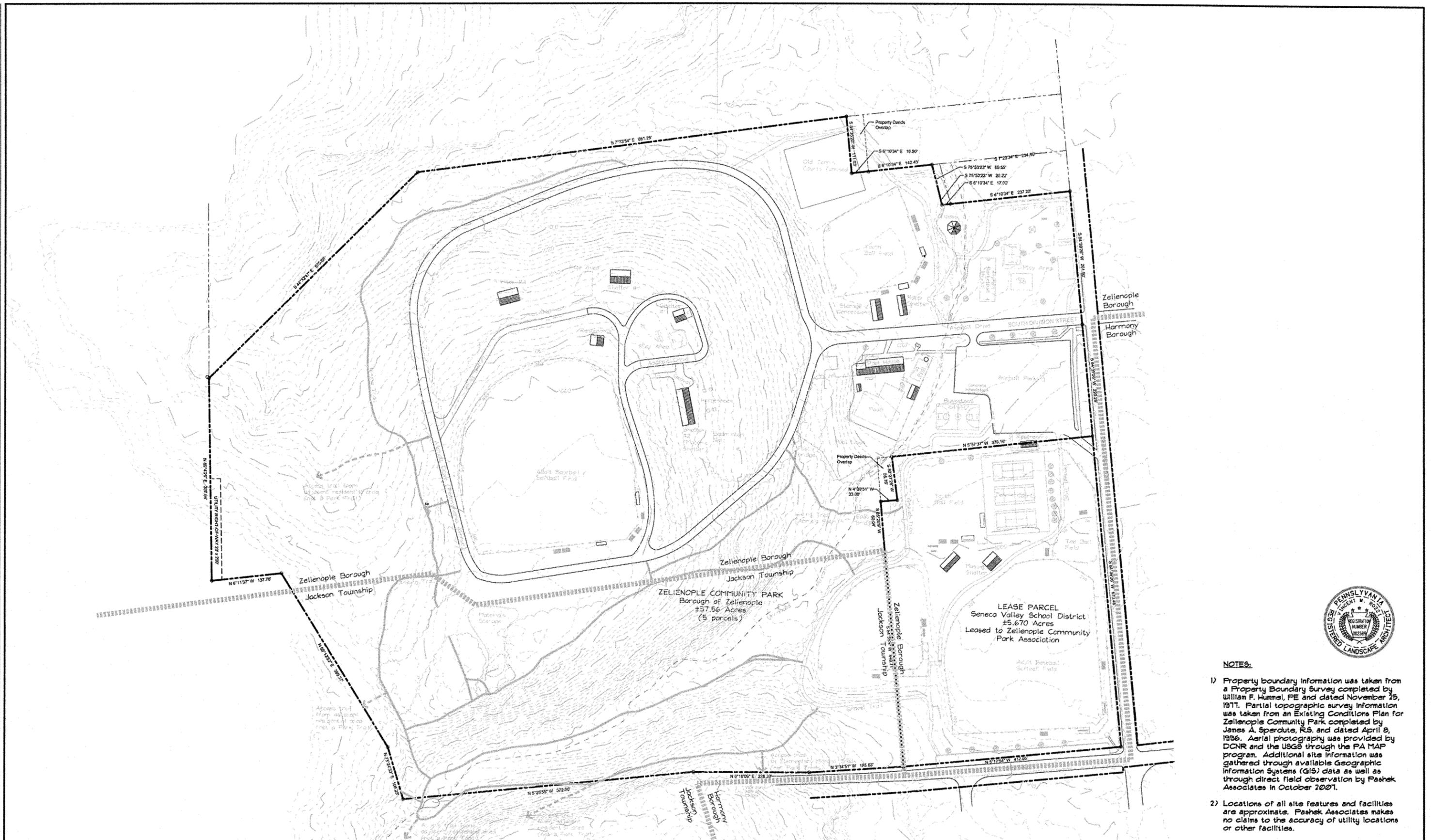
DATE:	05-28-08
SCALE:	AS NOTED
DRAWN BY:	DLS
REVISED:	
DRAWING NUMBER:	SR-102

NEW SCHEMATIC RENOVATION PLAN
 SCALE: 1/8" = 1'-0"



CHAPTER 5:

Site Inventory & Analysis



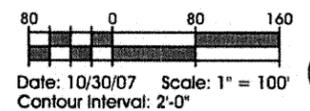
NOTES:

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Zelenople Community Park Master Plan

Zelenople Borough
Butler County, Pennsylvania

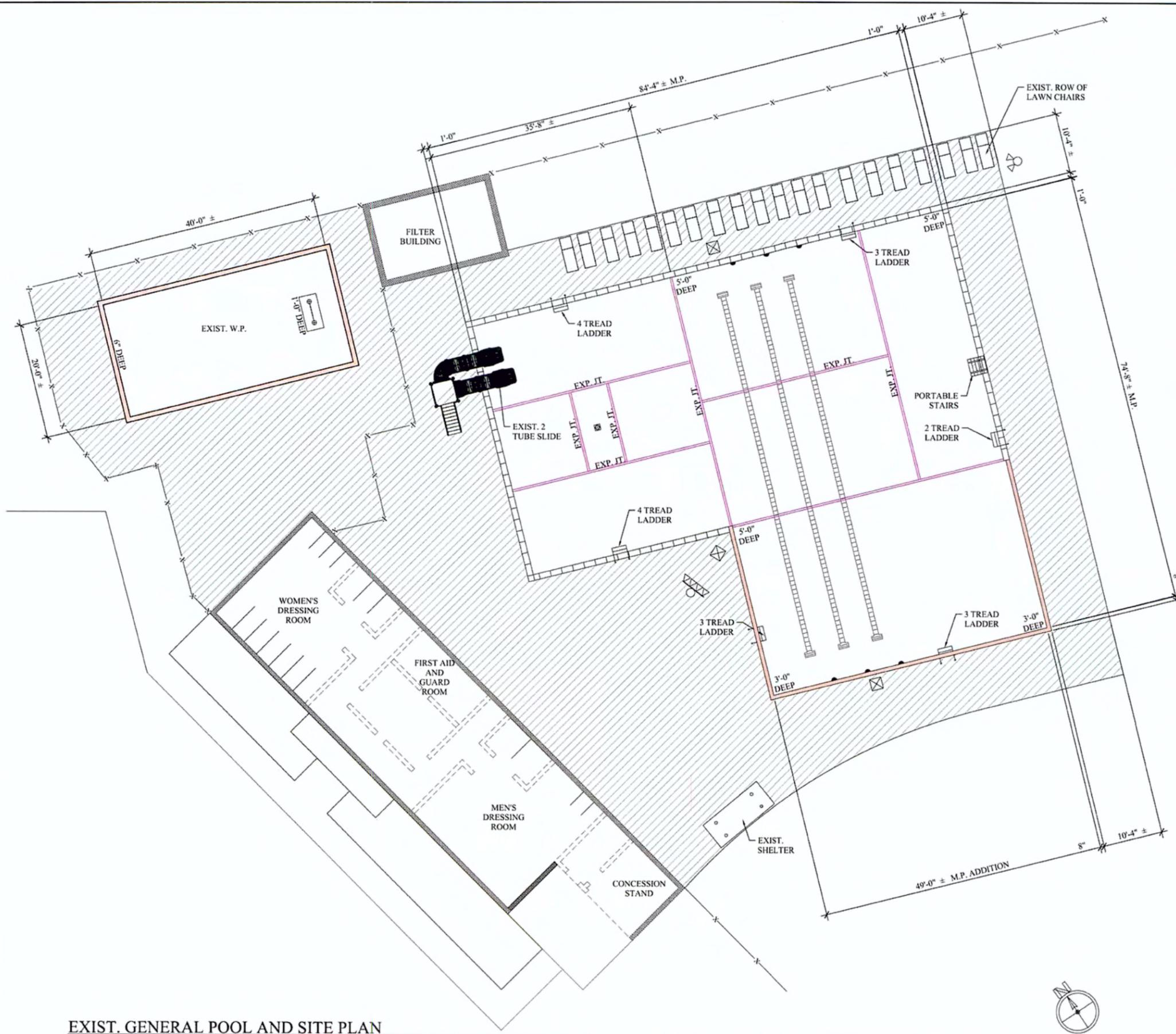
PROJECT BASE MAP



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Pittsburgh, PA 15212



LEGEND

- | | |
|--------|--------------------------------------|
| EXIST. | EXISTING |
| M.P. | EXIST. MAIN POOL |
| W.P. | EXIST. WADING POOL |
| | EXIST. BUILDING WALL |
| | EXIST. FENCE LINE |
| | EXIST. CONCRETE DECK |
| | EXIST. LIGHT POLE TO REMAIN |
| | EXIST. EXPANSION JOINT |
| | EXIST. LOUNGE CHAIRS |
| | EXIST. W.P. DRAINS |
| | EXIST. M.P. LADDER |
| | EXIST. M.P. PORTABLE LIFEGUARD CHAIR |
| | EXIST. M.P. WALL ANCHOR |
| | EXIST. M.P. DRAINS |
| | EXIST. LAP LANE LINES |
| | EXIST. M.P. COPING |
| | EXIST. W.P. AND M.P. ADDITION COPING |

EXIST. M.P. DATA

1. AREA 5295 SF. (EXIST.)
2. PERIMETER..... 320'-0" LF. (EXIST.)
3. VOLUME..... 231,057 GALS. (EXIST.)

EXIST. W.P. DATA

1. AREA 800 SF. (EXIST.)
2. PERIMETER..... 120'-0" LF. (EXIST.)
3. VOLUME..... 2,805 GALS. (EXIST.)

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SWIMMING POOL RENOVATIONS
 FOR
**ZELIENOPLE BOROUGH
 COMMUNITY PARK**
 ZELIENOPLE BOROUGH - BUTLER COUNTY - PENNSYLVANIA

**EXIST. GENERAL
 POOL AND SITE PLAN**



DATE: 05-28-08
 SCALE: AS NOTED
 DRAWN BY: DLS
 REVISED:
 DRAWING NUMBER:

S-101

EXIST. GENERAL POOL AND SITE PLAN
 SCALE: 1/8" = 1'-0"

Information in this and the following chapter served as a base for development of the Master Plan. Context provided by the community's history, demographics, and existing park system, as discussed in Chapter 5, helped identify community-wide recreational needs. The site inventory and analysis discussed in this chapter identifies the extent to which the park site meets, or potentially could meet, those recreational needs.

The Master Plan studies cultural and natural features of the site, such as zoning, utilities, topography, soils, vegetation, and hydrology. In addition, an analysis of existing recreation facilities starts to identify needed park improvements.

BASE MAPPING

No property survey was available at the time of the master plan study. Pashek Associates developed a base map using primarily Geographic Information Systems (GIS) data available via the 2005 PAMAP aerial mapping program, as provided by DCNR. Property boundary information was taken from a property boundary survey completed by William F. Hummel, PE and dated November 25, 1977. Partial topographic survey information was taken from the Existing Conditions Plan for Zelianople Community Park completed by James A. Sperdute, R.S. and dated April 8, 1996. Pashek Associates gathered additional information on site features through direct field observation in October 2007.

CULTURAL FEATURES

Rights-of-Way and Easements

Overhead utility lines aligned with the main park road (South Division Street) extend into the park from Beaver Street to serve park structures. However, no right-of-way is associated with these service lines.

Site analysis identified two sanitary sewer lines in the park: 1) an 8-inch diameter line following the park's southern and western boundaries before entering the East Culvert Street right-of-way adjacent to the park; and 2) an 8-inch diameter line servicing the swimming pool and flowing northward in the Division Street right-of-way to Beaver Street, then westward within the Beaver Street right-of-way. The Western Butler County Authority, operator of the sanitary line, identified no right-of-way associated with said line.

The only right-of-way identified on the park site is a 20' x 200' utility right-of-way in a forested area along the park's southern boundary. Site analysis identified no other rights-of-way or easements within the park.

Location, Size, and Legal Status

Zelianople Community Park consists of five Borough-owned parcels totaling approximately 37 acres, and a 5.7-acre parcel owned by Seneca Valley School District and under long-term

lease by the Zelianople Community Park Association. Thus the total acreage of the park is approximately 42.7 acres. The park is located in the southeastern portion of Zelianople Borough, three blocks east of U.S. Route 19 (Main Street). A small portion of the park property extends into southern Jackson Township. The park's main entrance is on Beaver Street, which bounds the park to the north. The park is accessible to pedestrians from Beaver Street, as well as Pittsburgh Street, which bounds the park to the east.

Zoning and Adjacent Land Use

The portion of Zelianople Community Park within the Borough of Zelianople is zoned Urban Residential (R-3), while the small portion of the park in Jackson Township lies in a Residential-Medium Density (RM) zoning district. Residential areas border the park to the west, southwest, south, southeast, and north. Residential areas to the south contain some forested property. Connoquenessing Valley Elementary School borders the park to the northeast (across Pittsburgh Street), and a Masons Lodge borders the park to the northeast. A small light industrial enterprise is located just northeast of the park across Beaver Street, and employees of this industry utilize the main parking lot at the park, under agreement with the Borough.

Neighborhood Park or Community Center is a conditional use in the Urban Residential District, per the Zelianople Borough Zoning Ordinance. Building setbacks (per Zoning Ordinance) applying to the park include a 25-foot front setback (along Beaver Street), a 15-foot side yard setback for a corner lot (i.e. along Pittsburgh Street), a 5-foot side yard setback along the park's western boundary, and a 20-foot rear yard setback along the park's southern boundary. In addition, the maximum height for a structure in the R3 zoning district is 35 feet or 2.5 stories, whichever is less.



Existing Structures and Roads

The main park entrance drive is an extension of South Division Street. This road is gated near the swimming pool entrance. The park road extends southward into the park to a loop road providing access to several recreation facilities. The main park road and loop road are paved with asphalt, as is the main parking area in the northern part of the park. A paved exit drive extends northeast to Beaver Street from the main parking area. A gravel access drive provides access to recreation facilities in the northeastern part of the park. The only parking serving facilities in the northeastern part of the park is a gravel lot located along Pittsburgh Street.



Existing structures on the park site include:

- the bath house and machinery/storage building at the pool;

- six picnic pavilions;
- two restroom buildings;
- two ball field concessions / storage buildings;
- a gazebo; and
- dugouts associated with existing ball fields.



Utilities

Identifying existing utilities on the property helps distinguish opportunities for proposed park activities that may require electricity, sewer, etc. In addition, the following Acts

require anyone who engages in any type of excavation or demolition to provide advance notice:

- Underground Line / Facilities Damage Prevention Act of 1996 (the “Act”);
- OSHA Standard 1926.651 (revised 1990);
- Federal Pipeline Safety Act of 1968, as amended protecting underground liquid (CFR 49, Part 195) and natural gas (CFR 49 Part 192.614) pipelines; and
- National Electric Safety Code, ANSI C-2 (revised 1997).

In Pennsylvania, PA Act 287 as amended by Act 187 of 1996, 73P.S. § 176 et. seq. requires “notice in the design or planning phase of every work operation that involves the movement of earth with powered equipment.” The PA One Call System, Inc. has been established as a non-profit organization to facilitate requests for utility information. Therefore, PA One Call System, Inc. (1-800-242-1776) was contacted during the inventory and analysis phase to determine if and which utilities are in the vicinity of the park.

PA One Call System, Inc. responded via their automated response service, Serial Numbers 3095357 (Zelienople Borough) and 3095358 (Jackson Township). Utility companies then responded directly as is shown in the following chart:

<i>PA One-Call Responses - Zelienople Community Park (Serial #'s 3095357 and 3095358)</i>			
<i>Utility Company</i>	<i>Address</i>	<i>Response</i>	<i>Contact</i>
Armstrong (Cable)	531 Perry Way Zelienople, PA 16063	Clear - No Facilities	Office Personnel
Dominion Peoples Gas Co. - Gibsonia Division	5600 Community Center Drive Gibsonia, PA 15044	Conflict. Lines Nearby. Direct contact to follow by facility owner.	Design Department
Evans City Borough Municipal Authority	204B South Jackson St. Evans City, PA 16033	No Response	Norman Nelson

Harmony Borough / Harmony Borough Water Authority	217 Mercer Street P.O. Box 615 Harmony, PA 16037- 0615	Clear – No Facilities	Wade Ion hbwa@zoominternet.net
Jackson Township	140 Magill Road Zelienople, PA 16063	Clear - No Facilities	Gary Cousins
Pennsylvania American Water Co.	2736 Ellwood Road New Castle, PA 16101	Clear - No Facilities	Karen Smith
Pennsylvania Power Co.	1910 W. Market St., Bldg 1 Akron, OH 44313	No Response	Ken Downs downsk@firstenergycorp.com
Verizon Pennsylvania, Inc.	Verizon Pennsylvania Inc. 201 Stanwix St., 4th Floor Pittsburgh, PA 15222	Design Conflict - Lines Nearby Please send maps to : Office Personnel	Office Personnel
Western Butler County Authority	P.O. Box 427 Zelienople, PA 16063- 0427	Facilities Marked in field	Paul Kremer, Jr.
Zelienople Borough	111 W. New Castle St. Zelienople, PA 16063	Facilities Marked in field	Jill Ann Stedina zelieborough@zoominternet.net

Pashek sent a park map to Verizon Pennsylvania, Inc., and office personnel at Verizon marked the locations of aerial cable on the map. Aerial cable lines are located along the southern side of Beaver Street and the eastern side of Pittsburgh Street. These cables are within the street rights-of-way and are not located directly on park property.

NATURAL FEATURES

Water Features and Wetlands

Zelienople Community Park drains into an un-named stream that flows northwestward, bisecting the park. This unnamed stream is a tributary to Glade Run, which flows into the Connoquenessing Creek. No delineated wetlands are located on the park site.

Glade Run is designated as a warm-water fisheries (WWF) by the Pennsylvania Department of Environmental Protections (DEP) Chapter 93 Water Quality Standards. Its un-named tributary flowing through the park received no DEP stream designation.

Soils

Soils help determine appropriate land use and development for the park site. For the Master Plan, Pashek Associates reviewed the Soil Survey



and lists of hydric soils for Butler County. Hydric soils are one of three criteria used to identify jurisdictional wetlands in the Commonwealth of Pennsylvania. The following chart describes the properties of soils found on the park property according to the soil surveys and identifies any hydric qualities in those soils.

<i>Soils Inventory - Zelienople Community Park</i>			
<i>Soil Type (Map Symbol)</i>	<i>Drainage</i>	<i>Hydric Soil?</i>	<i>Limitations to Site Development</i>
Brinkerton Silt Loam, 3-8% slopes (BrB)	Poor	Yes	High water table, slow permeability
Canadea Silt Loam, 3-8% slopes (CeB)	Somewhat Poor	Hydric Component (Canadice)	Seasonal high water table, slow permeability, unstable soil material
Ernest Silt Loam, 3-8% slopes (ErB)	Moderately Good	Hydric Component (Brinkerton)	Seasonal high water table, slow permeability
Gilpin-Wharton Silt Loams, 8-15% slopes (GpC)	Moderately Good	Hydric Component (wet spots)	Seasonal high water table, permeability (Wharton); depth to bedrock (Gilpin)
Gilpin-Wharton Silt Loams, 15-25% slopes (GpD)	Moderately Good	Hydric Component (wet spots)	Slope, seasonal high water table, permeability (Wharton); depth to bedrock (Gilpin)
Monongahela Silt Loam, 3-8% slopes (MoB)	Moderately Good	Hydric Component (wet spots)	Seasonal high water table
Urban land-Ernest Complex, 0-8% slopes (UeB)	Moderately Good	Hydric Component (wet spots)	Seasonal high water table, slow to moderate permeability
Wharton Silt Loam, 3-8% slopes (WaB)	Moderately Good	Hydric Component (Brinkerton)	Seasonal high water table, slow permeability

The following are conclusions made from the soil inventory:

- Few limitations: Characteristics from the site's soils pose very little if any limitations to park development. Most limitations above effect urban uses such as structures with deep foundations or basements. Most of the park site's soils are suitable for recreational uses.
- Hydric soils pose no problem: The site's only hydric soil is located in a remote forested corner of the site.
- Avoid steep slopes: One limitation that will effect most recreational uses is slope. Development of new park facilities should avoid steeper areas of the site where large amounts of clearing and/or earthwork may be required for development.

Topography

The topography of the Zelienople Community Park is divided into two categories. 1) large level areas and gentle slopes that range from 0-10%, which encompass approximately 40% of

the site; and 2) slopes ranging from 10-70%, which cover the remainder of the property. The level areas located in the existing park are in the northern and central part of the park property. Steeper undeveloped slopes surround the hill top in the central part of the site, and dominate the southern part of the park property.

Vegetation

An actual vegetative inventory of the park property would be an intensive, time-consuming undertaking, and was not part of this master plan project. Instead, a *potential* plant inventory was derived from direct site observation, as well as the following reference sources:

Benyus, Janine M. The Field Guide to Wildlife Habitats of the Eastern United States. New York, NY: Simon & Schuster, Inc., 1989.

Soil Survey of Beaver and Lawrence Counties, Pennsylvania. U.S. Dept. of Agriculture Soils Conservation Service, in cooperation with Penn State College of Agriculture and PA Dept. of Environmental Resources, issued April 1982.

A portion of Zelenople Park is maintained as mowed lawn, with a few deciduous shade trees planted in various parts of the park and scattered canopy trees retained in and around the picnic grove and in the playground area. However, the more than half of the park is forested, and represents an Oak-Hickory forest plant community. The following list represents a potential plant species inventory for the Oak-Hickory forest ecosystem:

<i>Major (Canopy) Trees</i>	<i>Understory Trees, Shrubs and Vines</i>	<i>Herbaceous Plants</i>
Black Oak	Beaked Hazel	Asters (various)
Northern Red Oak	Blackberry	Black Snakeroot
White Oak	Blueberry	Bloodroot
Bur Oak	Deerberry	Common Cinquefoil
Pin Oak	Downy Serviceberry	Common Lespedeza
Shingle Oak	Eastern Burningbush	Cut-leaved Toothwort
Chestnut Oak	Eastern Hophornbeam	Dutchman's Breeches
Shagbark Hickory	Eastern Redbud	False Solomon's Seal
Red Maple	Flowering Dogwood	Solomon's Seal
Sugar Maple	Mapleleaf Viburnum	Goldenrods (various)
Black Cherry	Mountain Laurel	Indian Cucumber Root
Black Locust	Rhododendrons	Jack-in-the-Pulpit
Black Walnut	Spicebush	Mayapple
Black Gum	Sourwood	Nannyberry
Green Ash	Sassafras	Winterberry
White Ash	Poison Ivy (vine)	Panic Grasses
Sweetgum	Virginia Creeper (vine)	Partridgeberry
Yellow Poplar	Wild Grape (vine)	Pink Lady's Slipper
Slippery Elm	Witch-hazel	Sedges
American Basswood		Sessile Bellwort
Eastern White Pine		Tick Trefoils
White Spruce		Tickclover
Norway Spruce		Trilliums
Larch		Trout Lily
		Violet Wood-Sorrel
		Wild Ginger
		Wild Sarsaparilla
		Wintergreen (Teaberry)

Wildlife

To survive, animals require food, cover, space, and water. All of these are provided on the park site, and thus the site is sufficient to support wildlife. As with the site's vegetation, a *potential* wildlife inventory was derived from direct site observation and from reference sources. From information on the aforementioned plant community, Pashek Associates compiled a potential wildlife inventory using the following sources:

Benyus, Janine M. The Field Guide to Wildlife Habitats of the Eastern United States. New York, NY: Simon & Schuster, Inc., 1989.

Brittingham, Margaret C., and Colleen A. DeLong. "Management Practices for Enhancing Wildlife Habitat". Penn State College of Agricultural Sciences Cooperative Extension, 1998.

The Zellenople Community Park property provides one major habitat type for wildlife -- mature forest (oak-hickory forest) -- and this habitat is needed by a variety of species for different reasons. Mature forests provide abundant food, cover, and nesting sites for wildlife. The mowed areas of the site are usable by wildlife but are not suitable to support wildlife year-round.

The following list represents a *potential* wildlife inventory (not including insects and other invertebrates) of the wildlife that may utilize the park property.

POTENTIAL Wildlife Invenotry: Mature Oak / Hickory Forest Habitat		
Cooper's Hawk	Tufted Titmouse	Gray Fox
Broad-winged Hawk	Chickadees (various)	Red Fox
Eastern-Wood	Woodpeckers (various)	White-tailed Deer
Peewee	White-breasted	Black Bear
Great Crested	Nuthatch	Marbled Salamander
Flycatcher	Warblers (various)	Slimy Salamander
Whip-poor-will (bird)	Northern Bobwhite	Spotted Salamander
Gray Jay	Ovenbird	Eastern Box Turtle
Blue Jay	Wild Turkey	Five-lined Skink
Blue-gray	Gray Squirrel	Black Rat Snake
Gnatcatcher	Fox Squirrel	Timber Rattlesnake
Red-eyed Vireo	White-footed Mouse	
Summer Tanager	Woodland Vole	
Scarlet Tanager		

Pennsylvania Natural Diversity Index Search

The Pennsylvania Department of Forestry maintains the Pennsylvania Natural Diversity Inventory (PNDI) Index. This is a database of known locations of Pennsylvania's rare, threatened, and endangered plant and animal species. The database and searches are now accessible online at the Pennsylvania Natural Heritage Program (www.naturalheritage.state.pa.us).

A search of the PNDI Database (Search #20080804153455) indicated that park development may potentially impact one (1) federally listed, proposed, or candidate endangered species or species of concern in Pennsylvania. If the project is pursued, the following instructions should be followed in their entirety.

The Borough should mail / fax a copy of the PNDI Project Environmental Review Receipt to DCNR at the following address:

Ecological Services Section
 Pennsylvania Department of Conservation and Natural Resources
 Bureau of Forestry
 Division of Environmental Services
 P.O. Box 8552
 Harrisburg, PA 17105-8552
 Fax #: (717) 772-0271

This mailing / fax should also include other documentation as required by DCNR. The Project Environmental Review Receipt is usable for 1 year after the date of receipt (8/4/08). Further instructions are included in the receipt, which is included in the appendices of this report.

Existing Recreational Facilities

This section identifies issues related to the location, use, and relationship between existing facilities at Zelianople Community Park. Analysis of the park property is visually represented in the Site Analysis Plan at the end of this chapter.

All Facilities Need Adjacent Parking

The main parking area in the front (northern end) of the park accommodates visitors during an average day of community swimming pool use. However, the main parking lot is also the only formalized parking in the entire park. It serves all adjacent facilities, such as the playground, tennis courts, basketball court, Rapp and Mussig picnic shelters, and youth ball field. The main parking lot alone does not contain enough parking to adequately accommodate all of these facilities. The lack of formal parking has led to a problem with visitors parking vehicles on lawn throughout the park.

One of the most visible examples of unauthorized parking is at the playground. Because no formal parking is provided, visitors must park across the park road in the main parking lot. This situation creates a safety issue. Some visitors park their vehicles in the lawn area directly adjacent to the playground when letting their children play on the playground equipment. Formal parking near all facilities is the park's most glaring need.

Pedestrian and Bicycle Park Use Has Been Considered

Although much more parking is needed to accommodate existing facilities, most facilities in the park receive walk-up use from residents of nearby portions of Zelianople Borough, Harmony Borough, and Jackson Township. The Borough has done a good job of placing bike racks near the pool and Rapp Shelter to accommodate park users arriving on bicycles. Pedestrian and Bicyclist use of the park is as important as vehicular traffic, and must continue to be considered.

ADA Compliance

In addition to a need for parking closer to facilities such as the playground, ball fields, sports courts, and picnic shelters, the park also needs handicapped-accessible parking and access routes. With the exception of the swimming pool, none of the park's recreation or support facilities are in compliance with Americans with Disabilities Act (ADA) regulations for handicapped accessibility. This situation is common among parks similar in age to Zelianople Community Park. If the Borough opts to make improvements to park facilities, those facilities must then comply with ADA regulations.





***Restrooms
Too Small, not
Handicapped-
Accessible***

The park's two existing stand-alone restroom buildings do not comply with current ADA standards for

handicapped access, and may be of inadequate size to service all the facilities in the park. The upper restroom is not large enough to accommodate the amount of park visitors present when pavilions at the upper (southern) picnic grove are all in use. The lower (northern) restroom is not large enough to accommodate the amount of visitors in the park when any combination of the tennis courts, basketball court, playground, and any of several ball fields are in use.

***Trails are Great;
Signage Needed***

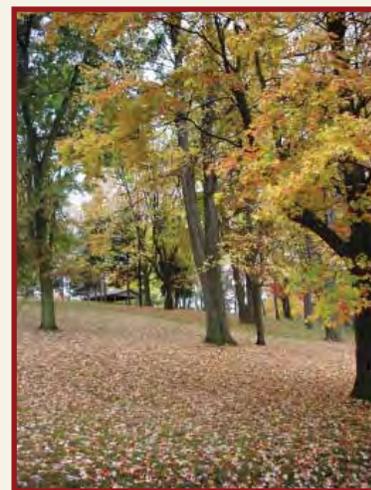
The park's trail system is frequently enjoyed by adjacent residents and other park visitors. The trails are a great asset to the park and have potential



to be even better. Those familiar with the park's trails may not have difficulty discerning what is a park trail and what is not. However, new park users may become confused and follow a trail leading into an adjacent yard or residential street. Trail signage, including maps and markers, is needed to avoid such confusion.

Picnic Grove Settings Vary

The hillside surrounding the adult ball field in the southern part of the park is an ideal picnic setting (except for lack of parking). Visitors enjoy shade and partial privacy provided by canopy trees and distance from other recreation facilities, but also like open lawn areas for casual recreation activities.



In contrast, the Mussig and Rapp shelters are located in open areas immediately

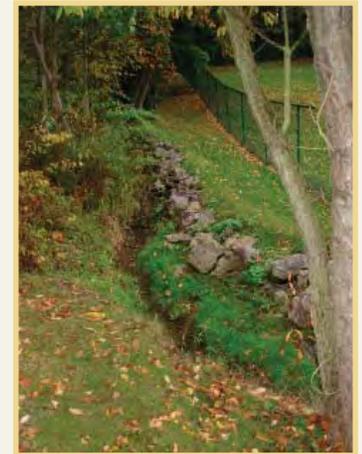


adjacent to active recreation facilities (ball fields, tennis courts). Their settings are noisy, bright, hot, and during youth ball games they lose all sense of privacy.

With the exception of the swings, spring see-saw, and climber between shelters #1 and #2, the playground equipment at the upper (southern) picnic grove is outdated and needs to be removed. Some equipment is not underlain by any type of playground safety surfacing. Equipment to remain needs to be consolidated and relocated for central use by picnickers at all shelters in the grove.

Stream is an Important Natural Feature

The existing un-named stream flowing through the northern developed portion of the park prevents efficient use of space for facilities, but is nonetheless an important natural feature. Lawn is mowed to the edge of the stream, and resulting erosion problems are evident along its banks near the swimming pool and near the gazebo.



Maintenance Equipment Storage Needed

The park lacks an area or building for consolidation of maintenance equipment and supplies. This has resulted in maintenance equipment being stored in several buildings and in areas throughout the park, often in view of park users.



Runoff Problems

Field underdrains in the left field corner of the adult ball field in the northeastern part of the park appear insufficient to convey stormwater runoff away from the field. Additional underdrains or other facilities may be needed to divert stormwater runoff from the hillside south of the field.

Tennis and Basketball Court Surfaces Cracked

The tennis and basketball court surfaces at the park are severely cracked and are beginning to deteriorate. Typical resurfacing of courts may result in residual cracking, thus total replacement of court surface and base material may be needed. Consideration must also be given to underdrainage for the courts.



Relocate Some Equipment in Main Playground

The park's main playground is very well-liked by park visitors. Some of its equipment is somewhat new and is underlain by shredded bark mulch safety surface contained with timber edgers. However, other equipment is scattered in the adjacent lawn and has insufficient safety surface to cover safety zones required by current playground safety standards.



These pieces of equipment need to be relocated (consolidated) to make better use of the open space near the playground, and need adequate areas of safety surface.



Make Better Use of Open Space

The park contains a few small areas of open space that could be better utilized. One is the space now occupied by the old tennis courts in the northwestern part of the park. This flat level land could be used for other facilities.

Another open space is located south of the adult ball field, adjacent to Pittsburgh Street. This space could be used for additional park facilities, but under an agreement with a park neighbor and donor, the Community Park Association has agreed to retain this area as lawn.

Legend

Vehicular Congestion/Conflicts



Pedestrian/Vehicular Conflicts



Potential Recreational Development Areas



Hydric Soils (Symbol)



Vehicular Circulation



Pedestrian Paths



Off-site Circulation



Site Facts

Property Owner: Zelenople Borough (park property), Seneca Valley School District (owns easternmost ball field property, with long-term lease to Zelenople Borough)

Park Property Area: 35.45 Acres

Ball Fields Property Area: 7.59 Acres

Surrounding Land Use: Residential (north, west, east, south), Forested land (southeast), Light Industrial (northwest), and an elementary school (northeast)

Park Zoning:
Zelenople Borough - Residential (R-3);
Jackson Township - Residential Medium-Density (RM)

General Site Slopes
Areas currently cleared and used for park activities: 0-15%
Forested Areas: 10-25%, with small level areas

Hydric Soils: Brinkerton Silt Loam, 3-8% Slopes (BrB)
Soils with Hydric Inclusions:
Caneadea Silt Loam, 0-3% Slopes (CeA)
Caneadea Silt Loam 3-8% Slopes (CeB)
Cavode Silt Loam, 8-15% Slopes (CIC)
Ernest Silt Loam, 3-8% Slopes (ErB)
Vandergrift-Cavode Silt Loams, 8-15% Slopes (VcC)
Wharton Silt Loam, 3-8% Slopes (WaB)

Wetlands on Site: None
Floodplains on Site: None



- 1 Re-organization of pedestrian circulation and location of play equipment in the play area is needed, along with handicapped-accessible parking spaces and vehicular barriers to prevent unauthorized parking.
- 2 Handicapped-accessible parking spaces and walkways are needed in all picnic groves.
- 3 Streambank restoration is needed along Glade Run to prevent further erosion.
- 4 Flowerbeds, gates, large posts, and sign at the park entrance give a good sense of arrival.
- 5 Ball Fields appear well maintained. Infields are in good condition and underdrains are installed around most fields.
- 6 Drainage problems are apparent in the left field corner of the easternmost Ball Field. Additional underdrainage may be needed in this area to divert excess runoff from the adjacent hillside to the southeast.
- 7 The tennis and basketball court surfaces needs crack repairs or total resurfacing. New players benches are also needed for both courts.
- 8 Existing open space is available for development of new facilities.
- 9 Signage and mapping needed at all trailheads.
- 10 Reorganization of vehicular circulation is needed in select locations in the park.
- 11 Pool Facility Improvements are identified in the Pool Feasibility Study being completed as part of this study.
- 12 Existing access to restrooms does not meet ADA guidelines for handicapped access.



NOTES:

- 1) Property boundary information was taken from a Property Boundary Survey completed by William F. Hummel, PE and dated November 25, 1977. Partial topographic survey information was taken from an Existing Conditions Plan for Zelenople Community Park completed by James A. Sperdute, R.S. and dated April 8, 1996. Aerial photography was provided by DCNR and the USGS through the PA MAP program. Additional site information was gathered through available Geographic Information Systems (GIS) data as well as through direct field observation by Pashek Associates in October 2007.
- 2) Locations of all site features and facilities are approximate. Pashek Associates makes no claims to the accuracy of utility locations or other facilities.

CHAPTER 6:

Supporting Background Information

INTRODUCTION TO ZELIENOPE BOROUGH

Zelienople was named for the daughter of a German settler by the name of Baron Detmar Basse who came to the area in 1802. Basse's daughter, Zelig, followed him from Frankfurt Germany to Zelienople in 1807. Basse acquired 10,000 acres of land that was divided by the Butler and Beaver County lines. Along with his private residence called "The Bassenheim", Baron Basse designed and constructed a village which is the current location of the town of Zelienople. Zelienople's fiftieth house was constructed in 1826, and by that time there were already three churches in town. Zelienople was incorporated as a Borough in 1840. The town's first passenger railroad came in 1879, causing a population boom.

Today Zelienople is a diverse community that is home to a bustling Main Street, light industrial and commercial areas, and residential neighborhoods. Zelienople has attracted residents because of its small town atmosphere, availability of work, and proximity to commerce and industry in Lawrence, Beaver, Butler, and Allegheny Counties.

Zelienople is located in the southwestern portion of Butler County, Pennsylvania, approximately 28 miles north of the City of Pittsburgh. U.S. Route 19 is Main Street in Zelienople, and serves as the Borough's main route of access. Interstate 79 is located just east of the Borough, which is also accessible via State Routes 68, 288, and 588. The Borough of Zelienople is bounded on all sides by Jackson Township, and is bounded on its northern and western sides by the Connoquenessing Creek.

DEMOGRAPHICS

(Sources: 1980 Butler County Planning Commission, 1990 & 2000 U.S. Census Data)

Population Trends

According to the U.S. Bureau of Census, the Borough of Zelienople population rose significantly between the 1980 and 1990 census and then dipped slightly between the 1990 census and 2000. The 2000 census shows the City's population at 4,123 - down from 4,158.

<i>Zelienople Borough Population</i> (per U.S. Census Data)			
<i>Year</i>	<i>Population</i>	<i>Change (Persons)</i>	<i>Percent Change</i>
1980	3,502	--	--
1990	4,158	656	18.73
2000	4,123	35	-0.84

Population projections obtained from the Southwestern Pennsylvania Commission (SPC) projected the population of Zelienople Borough to be 6,439 in 2010 with a continued increase in population and a projected 2025 population of 7,774.

Zelienople – Population Forecast 2000-2025 (per SPC Cycle 7 Population Forecasts)		
<i>Year</i>	<i>Population Forecast</i>	<i>Percent Change</i>
2000	4,123	Census 2000
2010	6,439	+56.17%
2020	7,276	+12.99%
2025	7,774	+6.84%

Population Density

The City’s total area is 2.2 square miles. The population density (per 2000 Census data) is 1,938.1 people per square mile. There were 2,113 houses at an average housing density of 993.3/sq mile.

Household Size

The 2000 census reported that the average household size in Zelienople was 2.07 while the average family size was 2.87. At that time, Zelienople contained 1,956 households. Of these households, 1,054 (53.9%) housed families, and 439 (22.4%) reported families with children under 18. In addition, 503 households (25.7%) were single occupants over the age of 65.

Age Distribution

The Borough of Zelienople’s 2000 population age characteristics show that the Borough’s population contains a greater percentage of senior citizens than Butler County as a whole. In 2000, 23% of the Borough’s population was under the age of 19 (County 27.6%), and 23.8% was 65 years of age or older (County 14.2%). Also, the median age of Borough residents is notably higher than that of the overall County population (See Chart Below).

Borough of Zelienople vs. Butler County Age Distribution of Population 2000				
<i>Population Segment</i>	<i>Borough of Zelienople</i>		<i>Butler County</i>	
	<i># Persons</i>	<i>%</i>	<i># Persons</i>	<i>%</i>
Total Population	4,123	100.0	174,083	100.0

Under 5 Years	213	5.2	11,141	6.4
5-19 years	733	17.8	36,730	21.2
20-24 years	191	4.6	10,230	5.9
25-44 years	1,165	28.2	51,124	29.3
45-54 years	537	13	24,640	14.2
55-64 years	304	7.4	15,397	8.8
65 years & Older	980	23.8	24,821	14.2
Median Age	41.3 years		37.6 years	

A comparison of the age distribution of Zelienople's population per the 1990 census vs. the 2000 census reveals an insignificant decrease in the Under 18 age group. The Over 65 population decreased by 3.1%, while the 18-64 age group increased by 3.2%.

<i>Borough of Zelienople</i>					
<i>Age Distribution of Population 1990 vs. 2000</i>					
<i>Population Segment</i>	<i>1990</i>		<i>2000</i>		<i>Percent Change</i>
	<i># Persons</i>	<i>%</i>	<i># Persons</i>	<i>%</i>	
Total Population	4,158	100.0	4,123	100.0	-0.84
Under 5 years	224	5.4	213	5.2	-0.2
5-17 years	655	15.8	656	15.9	+0.1
18-64 years	2,159	51.9	2,274	55.1	+3.2
Over 65 years	1,120	26.9	980	23.8	-3.1

Income

The median income of households in Zelienople was \$40,250 as of the 2000 census, and the median income for a family was \$52,426. The per capita income for the Borough of Zelienople was \$23,555. Approximately 0.2% of families and 0.7% of the Borough's residents lived below the poverty line, including 0.4% of those under age 18 and 0.3% of those residents over the age of 65.

Housing Characteristics

At the time of the 2000 census there were 916 single-family owner-occupied homes with a median dollar value of \$121,100 and a median mortgage of \$1,167. Also 36.1% of the Zelienople, PA (zip code 16063) population is made up of renters, with a vacancy rate of 6.65%.

Specified owner-occupied units	number	percent
	916	100.0
Housing Unit Value		
Less than \$50,000	0	0.0
\$50,000 to \$99,999	299	32.6
\$100,000 to \$149,999	346	37.8
\$150,000 to \$199,999	209	22.8
\$200,000 to \$299,999	42	4.6
\$300,000 to \$499,999	20	2.2
\$500,000 to \$999,999	0	0.0
\$1,000,000 or more	0	0.0
Median (dollars)	121,100	(X)

Conclusions from Demographic Data

(Source: 2000 U.S. Census Data)

- **Need for Open Space:** The population projections provided indicate a substantial increase in population by the year 2025. This increase, as well as the fact that the recreation facilities (such as Zelianople Community Park) attract use from residents of surrounding municipalities, indicates a need for additional recreational space.
- **Need for Recreational Activities for All Age Groups:** A review of the Borough's age distribution in 1990 and 2000 indicates a continuing need for recreational opportunities for the Under 18 population. Increases in adult age groups (ages 18-64), and a large senior citizen population indicate a need for a variety of recreational activities for all age groups.

EXISTING PARK SYSTEM

Recommendations set forth in this study are intended to provide the optimal level of recreation facility services to Zelianople Borough residents, given the opportunities and constraints of the Community Park site. To determine the appropriate level of recreation facility service, one must first understand what recreation opportunities are currently available in the study region and compare those opportunities to the projected demand based on the Borough's current and future populations. Recreational opportunities in the immediate surrounding region must also be taken into account as they may receive use by Borough residents.

Parks are classified according to a hierarchy developed by the National Recreation and Park Association. The five classifications are:

1) Regional Reserves

The regional reserve park is a facility designed more for the conservation of natural resources than recreational development. This type of park typically accommodates activities such as nature

study, trail uses, camping, boating, and fishing. Regional reserve parks are considerably larger than regional / metropolitan parks, but have the same 40- to 50-mile service area.

Regional reserves in the immediate region surrounding the Borough of Zelienople include the following:

McConnells Mill State Park

McConnells Mill State Park consists of 2,546 acres of the Slippery Rock Creek Gorge. The scenic gorge has steep sides and waterfalls created by the draining of glacial lakes. A gristmill was built in the 1800s; guided tours are available during the summer season.

There is no camping or swimming at McConnells Mill State Park, but there are picnic areas and an informal playfield for visitors to use. Other recreation opportunities include eleven miles of hiking trails traversing the gorge, two climbing and rappelling areas, hunting during established seasons, and fishing. Additionally, whitewater rafting is permitted on Slippery Rock Creek.

McConnells Mill State Park is accessible via local roads from I-79 or US-19, and is approximately 11 miles north of the Borough of Zelienople.

Moraine State Park

Moraine State Park is a 16,725 acre park encompassing scenic Lake Arthur. Recreation opportunities at the park include: two swimming beaches, a sand volleyball court, picnic areas and pavilions, a disc golf course, 28.6 miles of hiking trails, a 6-mile mountain bike loop, a 7-mile paved bicycle trail, and horseback riding. Limited primitive camping is available, as are cabins, and Lake Arthur is open for fishing, boating, and windsurfing.

Additionally, 13,600 acres of the park are open for hunting during established seasons. Winter activities include sledding, snowmobiling, and ice skating.

Moraine State Park is accessible from I-79 via State Route 488 to Pleasant Valley Road. This park is approximately 13 miles northeast of the Borough of Zelienople.

Raccoon Creek State Park

Raccoon Creek State Park is a 7,572-acre park with large tracts of undeveloped land. The primary attraction is the 101-acre Raccoon Lake, which offers a beach for swimming, as well as fishing and boating. Other recreational opportunities include:

the Wildflower Reserve Interpretive Area, containing over 700 species of plants; pavilions and five picnic areas; 44 miles of hiking trails; 16 miles of equestrian trails; and 17 miles of mountain biking trails. Modern and primitive camp sites are available, as well as cabins and a lodge. Additionally, over 6,000 acres of the park are open for hunting during established seasons. Winter activities include cross-country skiing, sledding, and ice skating.

Raccoon Creek State Park is accessible via PA-68 south to PA-18 south, and is approximately 30 miles southwest of the Borough of Zelienople.

Hillman State Park

This park is managed for hunting by the Pennsylvania Game Commission. Hiking trails are open

to the public.

Hillman State Park is accessible via PA-68 south to PA-18 south, and is approximately 32 miles southwest of the Borough of Zelienople.

Jennings Environmental Education Center

Jennings Environmental Education Center features a relict prairie, an ecosystem rare in Pennsylvania. This state park is dedicated to providing environmental education to visitors, offering a range of programs for all age groups. Recreation opportunities include an extensive trail network through the 20-acre prairie ecosystem and the surrounding forest area.

The park is accessible from I-79 via State Route 488 to State Route 173. This park is approximately 28 miles northeast of the Borough of Zelienople.

Hereford Manor Lakes

Upper and Lower Hereford Manor Lakes were the result of dams constructed in conjunction with strip mining in the 1950s. The total drainage area for Upper Hereford Manor Lake is approximately 2.0 square miles, with approximately 23 acres covered by the normal pool elevation. The total drainage area for Lower Hereford Manor Lake is approximately 1.4 square miles, with approximately 45 acres covered by the normal pool elevation. Recreation opportunities for both lakes include fishing and boating.

Hereford Manor Lakes is accessible from State Route 288. This recreation area is approximately 2 miles north of the Borough of Zelienople.

2) Regional / Metropolitan Facilities

This type of park or other recreational facility generally serves communities within a one-hour driving service radius. These parks accommodate many types of outdoor facilities, some of which may require large amounts of land, or special facilities, such as outdoor events, swimming opportunities, hiking, camping, and bicycling.

Regional / metropolitan facilities in the immediate region surrounding the Borough of Zelienople include the following:

Point State Park

Point State Park is situated 36 acres at the confluence of the Allegheny and Monongahela Rivers in downtown Pittsburgh. The park commemorates the historical significance of the area during the French and Indian War. Educational opportunities include the Fort Pitt Museum and Fort Pitt Blockhouse, as well as numerous interpretive signs throughout the park. Recreational opportunities include open Lawn areas, paved walkways and overlooks, and riverside seating for outdoor events such as fireworks displays.

Point State Park is approximately 30 miles south of the Borough of Zelienople.

North Park

This 3,075-acre park is a part of the Allegheny County Parks Department. Recreational opportunities include: an 18-hole golf course; ice skating rink; swimming pool; tennis courts; picnic areas; playgrounds; ball fields; a 75-acre lake with fishing access; and walking, jogging, hiking, and bike trails.

North Park is approximately 20 miles southeast of the Borough of Zelienople.

Brush Creek Park

This 400-acre park is a part of the Beaver County Parks Recreation and Tourism Department. Recreational opportunities include: picnic areas, tennis courts, horse trails, basketball courts, ball fields, walking and jogging trails, and playgrounds.

Brush Creek Park is approximately 7 miles west of the Borough of Zelienople.

3) Community Parks and Facilities

This facility type serves a large percentage of the local population. Although some people may be able to walk to a community park or facility, most users would arrive by automobile or bicycle. Because of the travel time for most people to reach the facility, it becomes a special destination, and its features and facilities generally reflect this. A community park accommodates several types of activities and park acreage is usually adequate to provide ample room for large facilities (such as ball fields or swimming pools), group activities, and solitary pursuits (such as hiking or bird watching). A community park's or facility's focus is accommodating the recreational needs of the particular community.

Zelienople Community Park falls into this category because it focuses on recreational needs of the Borough. The park serves surrounding municipalities as well, but is not large enough to be considered a regional reserve.

Other community parks in the area surrounding the Borough of Zelienople include the following:

Alameda Park

Alameda Park is part of the Butler County Parks and Recreation Department. Recreational opportunities include a swimming pool, multiple picnic areas and shelters, and a playground

Alameda Park is approximately 16 miles northeast of the Borough of Zelienople.

Butler Memorial Park

Butler Memorial Park is located within the City of Butler. Recreational opportunities include ball fields and picnic shelters.

Butler Memorial Park is approximately 18 miles northeast of the Borough of Zelienople.

Cranberry Township Community Park

Located in Cranberry Township, the Cranberry Township Community Park offers the following

recreational opportunities: picnic shelters, tennis courts, sand volleyball courts, ball fields, playground, amphitheater, basketball court, and nature trails.

The Cranberry Township Community Park is located approximately 7 miles south of the Borough of Zelienople.

Ewing Park

Ewing Park is a 50-acre park located in Ellwood City. Recreational opportunities include: playground, hiking trails, picnic areas, swimming pool, tennis courts, basketball courts and ball fields.

Ewing Park is located approximately 11 mile northwest of the Borough of Zelienople.

North Boundary Park

North Boundary Park, located in Cranberry Township, offers the following recreational opportunities: swimming pool, ball fields, playground, sledding hill, and walking path.

The park is located approximately 7 miles southeast of the Borough of Zelienople.

4) Neighborhood Parks and Facilities

This type of facility serves a very specific purpose. Users can generally be expected to walk or bike to a neighborhood park or facility. Because they are quickly and easily reached, their use tends to be more casual and spontaneous. These parks are only large enough to accommodate a few activities and possibly a small amount of open space, which may especially benefit densely populated neighborhoods. Equipment and facilities may be specifically geared toward children, especially young children. These parks serve as the focus for small, individual areas, generally ½ mile to 1 mile in diameter.

There are three neighborhood parks in the area surrounding the Borough of Zelienople, all in Harmony Borough:

Wood Street Park

Wood Street Park is located along Connoquenessing Creek and offers sitting areas only.

Swampoodle Park

Recreational opportunities include a multi-purpose concrete area for basketball, hockey, and skateboarding, as well as an obstacle course designed for ages 6-12.

Old Schoolhouse Playground

This playground designed for pre-school children is located behind the Borough Building. Activities include a swing set and a climbing box.

5) Special Use Facilities

Individual sports fields, sport complexes, or facilities geared toward activity, such as a racquetball club or fairgrounds, are classified as special use facilities. This type of facility is not typically located within a park. Whether publicly or privately owned, this type of facility serves as a unique destination.

Special use facilities in the area surrounding the Borough of Zelienople include the following (uses are shown in parentheses):

Rose E. Schneider Family YMCA (swimming pool, gymnasium, fitness center)

Strawberry Ridge Golf Course (18-hole golf course)

Hartmann's Deep Valley Golf Course (18-hole golf course)

Olde Stonewall Golf Club (18-hole golf course)

Connoquenessing Country Club (18-hole golf course)

Cranberry Highlands Golf Club (18-hole, par-70 golf course)

Connoquenessing Valley Elementary School (ball fields, playground)

Seneca Valley High School (tennis courts, ball fields, basketball courts, running track)

State Game Lands #203 in Allegheny County

APPENDIX A:

Meeting Minutes and Materials



Zelienople Community Park Master Plan and Pool Feasibility Study

Study Committee Meeting One

7:00 pm Wednesday, October 3, 2007

Zelienople Borough Municipal Building

619 East Ohio Street
Pittsburgh, PA 15212

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1. Introductions
2. Review Master Plan and Pool Feasibility Study Process
- 10 minutes
3. Role of the Study Committee / Possible Expansion - 10 minutes
4. Review Work Completed to Date - 15 minutes
5. Brainstorming Session - Opportunities and Constraints to operating the current park – 40 minutes

Site Questions

- a. What facilities are most successful / most used in the park?
 - b. What needs to be improved?
 - c. What other activities or facilities should be developed in the park?
 - d. Who uses the park / pool? (where do park users live?)
 - e. Are there any special events that occur, or that you would like to see held in the park?
 - f. What other information should we know about this site?
 - g. Who should we be talking with to get more information (Key Person Interviews)?
6. Next Steps – 5 minutes
 - Set a monthly date for meetings (i.e. 2nd wednesday...)
 - Schedule Study Committee Meeting #2-(review of site analysis)

Project Contact:

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vrozzi@pashekla.com

Website Access for project information:

www.pashekla.com
In client workspace,
User name = **Zelie**
Password = **Park**

SITE DESIGN,
RECREATION PLANNING,
LANDSCAPE ARCHITECTURE,
COMMUNITY PLANNING,
ZONING





Meeting Minutes

Zelienople Community Park Master Plan and Pool Feasibility Study

Study Committee Meeting One

Meeting Date and Time:

7:00 pm, October 3, 2007

Meeting Location:

Zelienople Borough Municipal Building

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Attendees:

Mr. Jim Zeigler
Mr. Don Pepe
Mr. John Bonomo
Mr. Bryan Branby
Mr. Ed Melberg

Mr. Herb Brittner
Ms. Miranda Berner
Bob Good
Vince Rozzi

The following represents a brief review of discussions held during the above meeting:

- 1.1 Rozzi began the meeting by introducing himself to each attendee.
- 1.2 Next Rozzi reviewed the Master Plan and Pool Feasibility Study processes (including a brief review of Meeting Agenda and Project Scope of Work - attached).
- 1.3 Rozzi then explained the role the Study Committee would take during the project, and asked the Committee for suggestions on possible additions to the committee. Interested residents and organizations listed by the Committee members included:
 - Thilo Boensch, President - S. V. North Soccer Association
 - Aaron Kneiss, Park Association / Skate Park interest
 - Barb Gurginski, Swimming Pool Manager (also works at School District)
 - Tom Zinkham, Rotary Club
 - Another member of the Zelie-Harmony Athletic Association (Baseball / Softball)
 - Governing Officials from Harmony Borough, Jackson Township, Lancaster Township? (possibly)
- 1.4 Good then briefly reviewed the project work done to date, which included an analysis (performed with Wayne Wade of Wade Associates) of swimming pool use and operations. Findings of this analysis were included in a handout (attached).
- 1.5 The Study Committee then started a brainstorming session to discuss opportunities and constraints to further development at the park, success and needed improvements of park facilities, and possible changes in operations namely for the swimming pool. Rozzi and Good posed the following questions:

- a. What facilities are most successful / most used in the park?
- b. What needs to be improved?
- c. What other activities or facilities should be developed in the park?
- d. Who uses the park / pool? (where do park users live?)
- e. Are there any special events that occur, or that you would like to see held in the park?
- f. What other information should we know about this site?
- g. Who should we be talking with to get more information (Key Person Interviews)?

Comments made during the ensuing discussion are summarized below:

- ☛ Jackson Township does not want to help with any funding for the park but their residents use the park regularly - We want to involve them but we're not sure how.
- ☛ The old tennis court is our white elephant. It was a skate park and kids wrecked it, so we locked it and it's currently unused.
- ☛ The newer tennis courts haven't been re-paved in 7 or 8 years
- ☛ Bocce Courts could be a good use for the old tennis courts space.
- ☛ The basketball court near the parking lot needs re-surfaced
- ☛ We have a great trail system and could capitalize on it more than we do. Environmental education features like plant/tree tags are a possibility.
- ☛ Both restrooms in the park are in poor condition and should be a primary concern.
- ☛ I like the picnic shelters, water fountains, BBQ's and the general atmosphere of the shelters on the hill with the large trees overhead.
- ☛ The Creek running through the park can be a negative (erosion problems) and a positive (aesthetic quality, children love to play in it)
- ☛ Our road system layout is good but better enforcement of the one-way traffic pattern is needed (signage at least).
- ☛ The hill in the park was once used for sledding and it could be again - that would be a great winter use.
- ☛ Picnic Shelters need ADA access
- ☛ We need another big shelter. It could possibly replace shelters #3 and #4.
- ☛ If we put in a large shelter it should have some sort of storage facility included.
- ☛ People park in the grass at the shelters now - there is no parking.
- ☛ We should look at new locations for new shelters because current locations have erosion problems.
- ☛ We need more shelters near the softball field
- ☛ Atmosphere is important for shelters - the ones on the hill are great because there is tree cover, etc.
- ☛ An Amphitheatre is a good idea. We need a place for everyone to congregate where parents can watch a show and at the same time watch their kids playing nearby on play equipment, etc. The amphitheatre should have capacity for 150-200 people plus lawn seating.
- ☛ We put bands on the ball fields during Horse Trader Days (July). Those concerts get 1,000 people or more.
- ☛ We should look into geothermal heat for the pool.
- ☛ More security / police patrol is an issue we need to talk about.
- ☛ Lighting is needed for trails, roadways, and walkways. Pashek Associates used an example in Windber Borough, Somerset County. Windber installed lights around their loop road and people walk there at all hours. Because people are constantly there, the level of vandalism / loitering has been very low.
- ☛ We should also look at lighting for one or more ball fields.

- ☛ Leopold Co. removes snow from the parking lot and pays the borough for its use for their employees during the day.
- ☛ The wooded area of the park is one of the great things about the park.
- ☛ Facilities / items that should remain in master plan designs include: the Rotary Shelter, the Rapp Shelter, the existing trail system (it should be expanded but existing trails should remain), and monuments in the park.
- ☛ We need to update playground equipment near the shelters.
- ☛ Fencing, guiderails, or other barriers would be great to prevent random parking and to direct people to facilities. Right now people pull right up to the edge of the playground and park there.
- ☛ Any barriers we put up need to be good looking. The chain link fence at the park entrance does a great job as a barrier but doesn't look that good.
- ☛ A dog park / non-leash dog area should be considered.
- ☛ Trail bridges over the creek need to be replaced.
- ☛ The stability of the road bridge over the creek needs to be studied.
- ☛ Electricity and water service are needed to all parts of the park
- ☛ Do we need to maintain tennis courts when Seneca Valley (SV) has new ones? Even if we keep the courts, we have 3 now that are barely used. Could we reduce that to 1 court?
- ☛ Parking all around the park needs to be looked at.
- ☛ Moving the entry road should not be ruled out, but we cannot move it onto school district property. Even though we have a long-term lease on the property the ball fields are on, we should own it before putting something so permanent on it.
- ☛ Heating the pool is a main concern
- ☛ The roofs of the pool house and outbuildings need replaced.

1.6 Next, Rozzi and Good asked the committee to help identify individuals or organizations in the community that could be approached for more information about the park. These organizations or individuals would be considered Key Persons and would be interviewed for additional input for the project. Key Persons suggested include the following (some offered via email by committee members after the meeting):

Tom Majeski, VP of Seneca Valley North Soccer Assoc.

Lynn Mooney, former Pool Manager, now runs Evans City Pool, runs swim programs out of EDCO Pool, teaches lifeguarding

Claire Torso, Zelig resident and park neighbor, interested in tennis and water aerobics at the park every year

Pat & Stewart Griest, Senior Citizens, park neighbors, walk on park trails

Marnie Repasky, Chamber of Commerce

Eric Grove, Physical Education Teacher @ Connoquenessing Valley Elementary

School (his classes use the park for a field day every year, as well as for outings and occasionally recess)

Girlscouts

Boyscouts

Greg Caprera, Athletic Director, SV H.S. - in charge of tennis court use

Ron Lamneck, Director of Facilities, SV H.S.

Harmony Borough Council member

Jackson Township Supervisor or Manager

Lancaster Township Supervisor or Manager

Lions Club

YMCA (sometimes uses park for outdoor youth sports leagues)

Administrative Staff from Passavant Retirement Home (lots of seniors walk to the park)

- 1.7 The committee then discussed the distribution of the random survey. Pashek Associates offered to send the survey to 25% of Zelenople Borough residents. The committee felt that because other municipalities use the park, and the Borough sees it as a regional facility, other municipality residents should also receive surveys. A lesser percentage of those municipalities' residents would receive the surveys, but the 25% of Zelenople residents should still receive it. Good agreed to discuss methods for A) acquiring names for a mailings lists -- possibly via utility bill lists for Zelenople Borough or randomly choosing names by zip code as 16063 and 16037 cover all municipalities that use the park; and B) how to decide what percentage of each municipality's residents should receive surveys. Good also assured the committee that they would be integral in deciding what questions are put in the survey.
- 1.8 The Committee discussed possibly monthly dates / times for study committee meetings and agreed on the **1st or 2nd Tuesday** of each month to hold meetings at 7:00 at the Municipal Building.
- 1.9 The next Study Committee Meeting will be held on **Tuesday, November 6th @ 6:30** in the Borough Council Meeting Room adjacent to the Borough Council Chambers. All attendees are encouraged to attend. At this meeting, Pashek Associates will review Site Analysis including physical features of the site as well as condition of existing facilities.

The information contained in these minutes was recorded by Pashek Associates and represents our interpretation and understanding of the discussions that occurred during the meeting.

Prepared by:

Vincent M. Rozzi, RLA
October 4, 2007



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Zelienople Community Park Master Plan and Pool Feasibility Study

Study Committee Meeting Two

6:30 pm Tuesday, November 6, 2007
Zelienople Borough Municipal Building

1. Review Site Analysis Plan and Discuss Observations
- 30 minutes
2. Review *Preliminary* Findings from Pool Facility Analysis
- 15 minutes
3. Present Draft Questionnaire and Discuss Revisions - 45 minutes
4. Next Steps – 10 minutes
-- Schedule Study Committee Meeting #3 (December)
-- Alternate Concept Plans (Preliminary Design Ideas)
-- Discuss General Schedule for Public Meeting #1 -
(review of site analysis and concept plans)

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Password = **Park**

SITE DESIGN,
RECREATION PLANNING,
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SITE DESIGN,
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LANDSCAPE ARCHITECTURE,
COMMUNITY PLANNING,
ZONING

Meeting Minutes

Zelienople Community Park Master Plan and Pool Feasibility Study
Study Committee Meeting Two

Meeting Date and Time:

6:30 pm, November 6, 2007

Meeting Location:

Zelienople Borough Municipal Building

Attendees:

Mr. Bill Tretter (Zelie-Harmony Athletic Association President)
Mr. Don Pepe
Mr. John Bonomo
Mr. Tom Murray
Mr. Ed Melberg
Mr. Tom Schneider
Bob Good
Vince Rozzi

The following represents a brief review of discussions held during the above meeting:

- 1.1 Rozzi began the meeting by distributing the meeting agenda and handouts (attached) to each attendee.
- 1.2 Next Rozzi reviewed the Site Analysis Plans and discussed initial observations with committee members. Comments made during the discussion are summarized below:
 - There are problems with drainage on the pee-wee ball field (westernmost field), and on the adult field at the corner of Beaver St. and Pittsburgh St. water runs off the streets at the intersection and we cannot pipe it back into the street system due to higher elevations on the street storm drain - we tried to pipe it to the left field corner of the adult field.
 - Rozzi explained that the only standing water visible on the site during recent site visits was in the left field corner of the adult ball field.
 - The drainage from the left field corner of the adult ball field runs westward between the field and the gravel path. We may need to think about putting a new storm drain in to replace the drains that we already installed.
 - Another drainage problem is the small swale between the basketball court and the gravel path to the east of it.
 - The property line appears to be in the wrong spot on the map - the old tennis courts are basically at the western park boundary. The map needs to be revised to show that.
 - The map does not show the entire hiking trail system (Rozzi replied that identification of park trails vs. informal trails

created by park neighbors was very difficult during field observation)

- 1.3 Bob Good then reviewed the preliminary findings from the Swimming Pool Analysis (attached). The following questions were asked of Bob concerning this analysis:
- “For the filtration system, can a shorter but wider tank be considered as an alternative to excavating the filter room floor to bring the existing tank to the appropriate level?” -- Bob agreed to investigate this possibility.
 - “Did Pashek Associates consider enlarging the swimming pool to include additional features?” -- Pashek Associates has considered this possibility. Based on current needs, it is not likely that more water space is needed. However, if further investigation shows that additional space is needed, the only realistic possibility would be to expand toward the front of the park.
 - Would it be possible to demolish the existing bathhouse, expand the pool in that direction and rebuild the bathhouse elsewhere? -- The existing bathhouse is not in a location that would be appropriate to expand the pool. It is located near the deep end of the pool. Any additional space that may be needed through expansion would be at the shallow end.
 - Bob pointed out that there is an issue with the location of the bathhouse. -- Currently it is located so that people enter into the pool area at the deep end of the swimming pool. For safety reasons, the current construction code requires that the entrances to the pool from the bathhouse be at the shallow end of the pool. Moving the bathhouse would be a costly fix to this problem. While a solution has not been finalized, it is likely that Pashek will recommend some sort of a fence barrier to move funnel pool users to enter the pool area nearer the shallow water. If it is determined that there is a viable reason to move the bathhouse, it would be reconstructed in a location that meets the current construction codes.
 - “What is the cost of basic renovations without any new additions?” -- Cost estimates are not finalized yet but preliminary estimates are about \$500,000.
 - A suggestion was made that the lap lanes be reconfigured to make them perpendicular to their current direction.
 - Bob pointed out that there is still some research to be conducted to determine usage patterns of the pool, peak attendance, potential new programming, financing and operation, business analysis, and more. -- This will be done over the next couple months. Additionally, the public input may affect design and operational considerations of the pool.
- 1.4 Don Pepe then spoke briefly about Community Development Block Grant (CDBG) funds already acquired by the Borough. These funds, awarded in 2004, must be spent soon or they will be reallocated to current grant awards elsewhere. One idea was to use the funds toward renovations of the existing restrooms in the park. CDBG funds must be used for rehabilitation / renovation, not for new development.

The Borough must start to evaluate the restrooms in advance of any recommendations developed as part of the Master Plan study. Rozzi explained that the 2 stand-alone restroom facilities in the park are in suitable locations for easy use by most park users. Ron Gigler, an architect (and Zelianople resident) from the firm of Ross, Schonder, Sterzinger, and Cupcheck (RSSC) will contact the Borough in the next few days to gain access to the restroom buildings and pool facility buildings to perform an architectural analysis. This analysis will determine the costs necessary for proper rehabilitation of these facilities and will determine the feasibility of using the CDBG funds.

Pashek Associates suggested that the Borough apply for DCNR funds to match the CDBG grant money and double the possible funding for renovations to the restrooms.

- 1.5 Rozzi and Good then reviewed Draft #1 of the Questionnaire to be sent out to residents of Zelianople Boro, Harmony Boro, Jackson Township, and Lancaster Township. Comments made on the draft are summarized below:
- Add a question to determine household income so the data may be useful in applications for grants geared toward improvements that will help specified income level residents. This should follow the other questions about the questionee's household.
 - We should change the questions regarding picnicking (#6 and #7) to refer to "renting picnic pavilions" because picnicking in general may include much more casual activities like family picnics.
 - We should keep the questions asking about the frequency of each activity - this tells us if people like an activity a lot and if they do and will travel to do it, maybe we don't need that facility.
 - We need to ask questions regarding where people go to (and how often they) go to a playground, go for casual play (frisbee, pick-up football games, etc.) or casual picnicking, and use trails for biking or hiking.
 - Add Skateboarding / BMX biking to the list of possible additional activities in Question #12.
 - Add Skate Park to the list of possible additional facilities in Question #13.
 - Eliminate Question #14. The Borough is NOT going to discuss acquisition of the school district property, even though the school district indicated that they aren't going to use it for anything. We have a 5-year renewing lease with the school district and may want to discuss a long-term lease (Rozzi explained that a long-term lease of 25 years or more is favorable to a grant agency such as DCNR)
 - Eliminate Question #16. Several trails already connect the surrounding neighborhoods to the park.
 - Replace Questions #18 and #19 with the following question: Zelianople Borough is currently the only municipality providing tax dollars to support the park. Should additional funding for the park be provided by other local municipalities whose residents use the park? YES/NO
 - Space should be provided for additional comment on that question.
 - Good explained that he will add a few more questions regarding specific issues with the swimming pool and that the revised draft (Draft #2) will be distributed to committee members prior to the next Study Committee Meeting.
- 1.6 The next Study Committee Meeting will be held on **Tuesday, December 4th @ 6:30** in the Borough Council Meeting Room adjacent to the Borough Council Chambers. All attendees are encouraged to attend. At this meeting, Pashek Associates will review Alternative Concept

Plans developed from Site Analysis and from Study Committee input. Also, the goal of the next Study Committee meeting will be to finalize the questionnaire and review key person interviews, which will be completed prior to the meeting. Also, the first public meeting is slated for late January, with an exact date, time, and location to be determined.

The information contained in these minutes was recorded by Pashek Associates and represents our interpretation and understanding of the discussions that occurred during the meeting.

Prepared by:

Vincent M. Rozzi, RLA
November 7, 2007

Preliminary Summary of Facility Findings at the Zelienople Swimming Pool

Problem	Solution	Other Options and Comments
Main Pool		
Leaking Sometimes losing 2"-3" of water per day.	Conduct a pressure test of the drain, skimmer, and filtered water return piping.	These tests should be conducted prior to undertaking other renovations.
Shell Years of paint and deterioration	Sandblast to remove all existing paint; repair cracks, reconstruct joints, re-coat surfaces with paint or plaster.	Two options are available on how to reconstruct the joints. Two options are also available on re-coating/ painting the pool.
Diving Area The depth and slope floor does not meet current Code requirements for diving areas. Currently no diving boards are installed at the pool but two drop tube slides are installed in the deep end. The slides require a water depth of 7', which does not exist at the location at which they enter the water.	There are four options	1) Leave existing depth with no diving boards and no slides. 2) Move the slides closer to the deep area of the pool where it is a minimum of 7' deep 3) Deepen the area to meet current standards for diving. 4) Shallow the area to six or seven feet and use for general swimming and the slides.
Coping Coping on the original section of the pool is extremely deteriorated	Remove and replace	To be consistent around the entire pool, the coping in the newer section of the pool should also be removed and replaced.
Filtered Water Return Piping The filtered water return piping does not meet the current Code. This may also be the source of part of the water leak.	Remove the curb and install a new return system.	
Main Drain Only one drain exists. Two anti-vortex drains are required.	Install two new fiberglass drain boxes.	
Skimmers Existing skimmer holes do not meet current Code requirements.	Remove and replace with a new code compliant skimmer system.	
Circulation System The exact size and material of the perimeter recirculation piping is not known. This piping may be part of the source of the water leaks.	Replace all recirculation piping (return lines, skimmers, and drain lines) with PVC.	This will require the removal and replacement of at least three to four feet of concrete surrounding the pool perimeter and into the filter building.
Filtration System The currently used vacuum diatomaceous earth (DE) is the most efficient type of filtration system. However, the top elevation of the filter tank is approximately 18" about the top	Remove the existing filter tank and excavate to the appropriate level. Install a new concrete tank. This will allow for gravity flow from the pool to the tank Replace all piping with PVC and	An alternative filtration option would be to install a sand system. A sand system requires a larger recirculation pump and discharges considerably more waste water during the cleaning process, making it more costly to operate.

Problem	Solution	Other Options and Comments
elevation of the pool water. The presents a balancing problem and is inefficient. The piping in the filter room is a mix of PVC and cast iron and the valves are all cast iron.	all valves with CPVC.	
Chemical System The pool currently uses chlorine tablets for water disinfection. This is the least efficient of the chlorination systems. There is no automated chemical control to maintain chlorine and pH levels. Muratic acid is used for pH correction. It is a harsh chemical that can pose safety concerns.	Install a liquid chlorine system with a bulk storage tank. This will significantly improve efficiency and safety. Install a new automated chemical feed system. Convert to a carbon dioxide system for pH correction.	
Wading Pool Has the same structure needs as the main pool for sandblasting and recoating. Also has the same chemical system needs.	Same structural changes as the main pool. Same chemical system changes as the main pool.	
Concrete Deck Cracked and uneven. There are visible signs of settlement.	Completely remove and replace all concrete deck and install a drainage system.	
Pool Fencing Some of the perimeter fencing is in need of repair. There is no barrier between the bathhouse exits and the deep end of the pool.	Repair the necessary spots and paint the fence. Install a fence to separate the bathhouse from the pool and funnel users to the shallow end of the pool.	
ADA The pool does not currently meet accessibility standards for direct access into the water.	Convert a portion of the pool to zero depth entry.	Install a ramp access into the shallow area of the pool.
Bathhouse Will be evaluated within the next two weeks		



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Zelienople Community Park Master Plan and Pool Feasibility Study

Study Committee Meeting Three

6:30 pm Tuesday, December 4, 2007
Zelienople Borough Municipal Building

1. Present and Discuss Draft Questionnaire #2 and Identify Final Revisions - *30 minutes*
-- Finalize numbers of questionnaires to be sent to residents of Zelienople Borough, Harmony Borough, Lancaster Township, and Jackson Township
2. Review Key Person Interviews completed to date - *10 minutes*
3. Review Alternative Concept Plans A & B and Discuss design ideas set forth in each plan.
- *60 minutes*
4. Next Steps – *5 minutes*
-- Schedule Public Meeting #3 (late January)
-- Schedule Study Committee Meeting #4 (February)
-- Pashek Associates will send out questionnaires

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In client workspace,
User name = **Zelie**
Password = **Park**

SITE DESIGN,
RECREATION PLANNING,
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SITE DESIGN,
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ZONING

Meeting Minutes

Zelienople Community Park Master Plan and Pool Feasibility Study
Study Committee Meeting Three

Meeting Date and Time:

6:30 pm, December 4, 2007

Meeting Location:

Zelienople Borough Municipal Building

Attendees:

Mr. Bill Tretter (Zelie-Harmony Athletic Association President)
Mr. Don Pepe
Mr. John Bonomo
Mr. Tom Murray
Mr. Ed Melberg
Mr. Tom Schneider
Ms. Miranda Berner
Ms. Kathleen Torso
Mr. Bryan Branby
Vince Rozzi

The following represents a brief review of discussions held during the above meeting:

- 1.1 Rozzi began the meeting by distributing the meeting agenda and handouts (attached) to each attendee.
- 1.2 Next Rozzi reviewed the 2nd Draft of Questionnaire (attached) and the committee discussed original survey questions and additional questions added since review of the initial draft. Comments made are summarized below:
 - Somewhere on the front cover (the thank you letter) it needs to be clarified that the word "you" in the survey questions refers to "you or a member of your household"
 - We do not ask for reasons why residents DON'T use the community park for various activities if they go elsewhere
 - I think we are merely trying to survey and not put a slant on the questions. We are not trying to achieve a certain answer by asking the questions we ask.
 - For the sake of brevity I think we should not add any more questions about the various facilities / activities at the park in general. Making the survey any longer may reduce the chances of those who receive it actually filling it out
 - We should add the words "In your opinion" at the beginning of the 2nd sentence in Question #26.
 - We should clarify in Question #27 that "personal contributions to assist with upgrades to the park or pool" would be in addition to pool membership fees.

- 1.3 Rozzi then discussed the number of questionnaires and distribution of questionnaires with the committee. The project scope of work indicates that questionnaires are to be sent to 25% of the Zelenople Borough residents. The project committee indicated at earlier meetings that it would be better to send questionnaires to residents of the surrounding municipalities because they also use the park. After discussing what percentage of the households in Harmony Borough, Lancaster Township, and Jackson Township should receive surveys, the committee reached a consensus that 500 surveys (500 is roughly the amount that would be sent if 25% of all Zelenople Borough households were surveyed) should be distributed evenly across the four municipalities (Zelenople, Harmony, Lancaster Twp, Jackson Twp) whose residents use the pool. Zip codes 16063 and 16037 encompass these municipalities. The questionnaire should be sent randomly to 500 households within these two zip codes.
- 1.4 Rozzi then briefly reviewed the 3 Key Person Interviews completed to date (attached) and discussed with the committee possibilities for other key person interviews. They included:
- Claire Torso - park neighbor, interest in tennis and water aerobics, former girls scout leader
 - Eric Grove - Physical Education teacher, Connoquenessing Valley Elementary School
 - Tom Majeski - VP, Seneca Valley North Soccer Association
 - Lynn Mooney - Former pool manager, now runs the Evans City Pool, runs swim programs at EDCO pool, teaches lifeguarding
 - Jeff Wahl - Boyscout Troop 457 (his scouts have done a few projects in the park in the last few years)
 - Cindy Larson - Girlscouts (use park for Jamboree, may be able to tackle some small projects in the park)
 - Rich Goehring - Tennis league that uses the park
 - Bob Kerr - Lancaster Township Supervisor
 - Jason Shorr - Seneca Valley H.S. Tennis Coach
 - Al Skrupka - Seneca Valley H.S. - JV Tennis Coach
 - Tom Olinger - Lions Club
 - Other groups to contact include: Harmony Borough Council, Jackson Township Supervisors, Administrative Staff at the Passavant Home (seniors walk in the park), St. Gregory's Lutheran Church (has a cross country team that uses the park),
- 1.5 Rozzi then reviewed Alternative Concept Plan 'A' (attached) and asked that during discussion following the review, the committee consider ideas that could be seen as alternates to those proposed in Concept 'A' and could be used to form a Concept 'B'. Comments made during the discussion are as follows.
- A community center is something that would bring in revenue
 - Community centers take up a lot of space and cost a lot of money - we should look at other things before that
 - Concept 'A' doesn't show a skate park - we should proposed a large, unique skate park that would be destination for the entire surrounding area - one spot would be south of shelter #4 on the hillside inside the park loop road - a terraced skate park would be unique and we have power at this location so we could provide security lighting for safety
 - Another use for the old tennis courts could be to relocate two of the new tennis courts there.
 - We should look into recycled rubber for a surface for the park's trails - we could do a tire drive to collect tire rubber to use

- We should be careful in changing the direction of the lap lanes at the pool b/c if lap swimmers are swimming through a part of the shallow end, lots of little kids sit on the side of the pool even during adult swim. If swimmers are doing laps during general swim then they will be running into lots of little kids in the shallow end. We should turn the lap lanes but keep them in the deeper end of the pool where there is less traffic, and so lap swimmers can do safe kick-turns off of the pool walls.
- We need a bigger sign stating pool rules so kids that usually swim at the YMCA will know the rules are a little different here
- Filling in the deep end of the pool to 7-ft. depth is fine but it should not be any shallower (Rozzi explained that part of the discussion from the last meeting was that 7 feet was the minimum depth required beneath slides)
- We shouldn't have one-way signs / Do-Not-Enter signs at the start of the loop road - they are a hazard to sledders. We should use only painted arrows / markings on the pavement.
- Stretching stations near trailheads would be a nice addition to the trail system. An example of these stations is on a bike trail in Oil City, connecting to the Oil Creek Trail.
- We need to relocate the Rapp Shelter. It is not a good setting for a picnic, and the dust from the adjacent ball field infield is a problem on dry windy days. Even if the shelter moves, we should plant some hedges between the ball field and the main park road to block the dust.
- We could relocate the Rapp Shelter to the top of the hill near the other shelters.
- We need another large shelter
- We should remove Shelters #3 and #4 - they are older and need updated anyway, and they are too small
- Relocate some of the play equipment around the shelters to one spot so it is consolidated
- Will this consolidated play area be visible from all the shelters? Parents will want to watch their kids play
- We should add horseshoe pits for casual use around the shelters
- The pool needs a shelter for private parties that are going on during regular pool hours
- The pool needs more shade structures. We used to have a collapsible awning until a wind storm damaged it.
- A permanent shade structure would be safer than the removable umbrellas we have now. They are heavy and can tip over if kids try to climb on them.
- We don't need a shelter for the bocce courts - we don't even know how much interest there will be in them, and a shelter may attract people there that we don't want hanging out there. Just bocce courts would be fine.
- Two other uses for the space in / near the old tennis courts are a sand volleyball court, and a multi-use open lawn space that can be used for any casual play.
- Removing one of the tennis courts is a good idea
- The tennis courts to remain could be relocated to make room for a skate park.
- Putting the skate park out in the open would deter vandalism / loitering.
- We could relocate the park entrance to the current parking lot exit
- The lower restroom should be moved - it would make it much easier to maximize parking in the main parking lot and to relocate the park entrance to the current parking lot exit.
- A walking trail connection switchbacking up the hill toward the Rotary Shelter (#2) and Shelter #1 would be nice since walkers wouldn't have to walk around the park loop road or directly up the hill.

- The parking lot east of the adult ball field on the top of the hill should be moved southward to prevent foul balls from landing in the parking lot as frequently.
 - The proposed parking along the access road to the shelters on top of the hill should take into account some of the trees planted there. They are among the nicest in the park. The parking lot "islands" should be wherever the existing trees are.
 - The Mussig Shelter label is on the storage / concessions building - it needs moved to the right (north) to the shelter.
 - There was once an old wishing well along the trail near the southernmost portion of the park loop road. Restoring it could be a girlscout project.
 - There should be a sidewalk along the western side of the park road extending to a spot near the pool, then crossing toward the pool. This would require a wider bridge over the road near the pool, and that bridge needs updated.
 - We need a spot to relocated the lion drinking fountain.
 - I don't like the parking lot near the existing playground near the front of the park - it encroaches too much on that green space. (Rozzi explained that the intent was to eliminate the need for playground users to park in the main parking lot and cross the park road)
- 1.6 Rozzi stated that he would send the completed alternate concept plans to committee members between this meeting and the public meeting so that they can review them prior to the public meeting.
- 1.7 John Bonomo and Tom Murray offered to tour the park trail system with Rozzi so that accurate mapping could be made.
- 1.8 The first Public Meeting will be held on **Wednesday, January 30th @ 7:00** in the Borough Council Chambers. All Study Committee members are encouraged to attend. At this meeting, Pashek Associates will review Alternative Concept Plans developed from Site Analysis and from Study Committee input. The goal of this meeting will be to solicit input from the public on what needs to be done at the park. The next Study Committee Meeting will be held in February. When a date is set, all committee members will be notified.

The information contained in these minutes was recorded by Pashek Associates and represents our interpretation and understanding of the discussions that occurred during the meeting.

Prepared by:

Vincent M. Rozzi, RLA
December 5, 2007



Meeting Minutes

Zelienople Community Park Master Plan and Pool Feasibility Study

Public Meeting #1

Meeting Date and Time:

7:00 pm, January 30, 2008

Meeting Location:

Zelienople Borough Municipal Building

PITTSBURGH

619 East Ohio Street
Pittsburgh, PA 15212

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Attendees:

Don Pepe
Bryan Branby
Tom Schneider
Karyn Bowman
Mike O' Halloran
Jim Zeigler
Ed Melberg
Aaron Kneiss
Greg Cowell
Clare Torso
Kathleen Torso
Becca Witson
Kathy Lindsay
Bob Schultz
Barb Gerginski
Molly Bergerstock
Wendy Grubbs
Alecia Flood

Dave Szakelyhidi
Drew Mathieu
Herb Brittner
Henry Thompson
Allissa Tekeleuburg
Christine Cooper
Anna Mahorg
Mary Hess
Miranda Berner
Chuck Underwood
Bill Eppinger
Tom Murray
Donna Statzer
The Hollermans
Bryan Seihel
Dan Allen
Bob Good, Pashek Associates
Vince Rozzi, Pashek Associates

The following represents a brief review of discussions held during the above meeting:

- 1.1 Zelienople Borough Manager Don Pepe introduced Bob Good and Vince Rozzi from Pashek Associates, and briefly explained how Zelienople Borough attained a grant to complete the Master Plan.
- 1.2 Rozzi described a master plan, explaining that a master plan is a fundraising tool to be used by the Borough to acquire grant funding for actual construction of improvements at the park. Rozzi then briefly explained the master plan process, pointing out that tonight's meeting goal is getting as many ideas in front of the public as possible.

Rozzi explained that the concept plans presented tonight (2 entire park concept plans, 1 swimming pool concept plan) are the initial design ideas for the park and would be revised several times before a final design is developed.

- 1.3 Good and Rozzi then asked that the audience divide into groups of 6-8 for a group exercise. 11 x 17 copies of the concept plans were distributed to each group. The groups then examined and discussed each concept plan, and listed positives, negatives, and additions to each concept. Groups' respective findings were then presented to the entire

audience by a member of each group. Their findings are summarized below:

Group #1:

Pool Improvements:

- Eliminate the "L"-shaped walkway / barrier to the proposed zero-depth entry
- This concept shows a smaller pool while Zelie's population is growing
- We should pipe the creek to allow more room for pool deck expansion
- Having two slides means we'll need more lifeguards
- There will be a lot of traffic because the L-shaped walkway will force different pool users to use the same area
- We need an open slide into a shallower end of the pool (3' depth) for younger kids
- This design doesn't allow much room for kids to play catch, etc. in the shallow end of the pool
- Too many water features may require lifeguards to attain another certification
- We can't have our mini-triathlons for kids with only 2 lap lanes
- We need more restrooms at the park to keep people out of the pool bathrooms
- This concept doesn't allow enough room for our swim lesson classes - if we can't have as many classes we won't make as much money
- Extend the pool and deck to the northeast where we have 25 feet or so of flat area
- Move the slides back with the extended pool edge
- Move the zero-depth entry to the newly extended portion of the pool, leaving more room for lap lanes, etc.

Park Improvements - Concept 'B':

- Relocate the T-ball field to a spot between the existing Little League Field and Pittsburgh Street
- Leave Bocce courts in location from Concept 'A' (where existing old tennis courts are now)
- Remove the bocce courts on the hillside near the existing shelters to make room for another large shelter.
- Soccer/Football Field?
- Above-ground half-pipe and other equipment for skaters instead of an in-ground "pool" or bowl (above ground equipment is less expensive)
- Find another location to add a full-court basketball court

Positives - Concept 'B':

- Eliminating the T-Ball Field
- We like the idea of relocating shelters
- We like the new entrance location
- Areas where kids congregate are near entrances / in plain view, not hidden
- We like the new tennis court locations

Group #2:

Positives - Concept 'B':

- We like Concept 'B'
- The amphitheatre is a good idea

Park Improvements - Concept 'B':

- The tennis courts and skate park could have card locks and users pay a fee to use them and get a card
- Can we find room for a sand volleyball court?
- Is there a way to use some type of synthetic turf for the tennis courts?
- Install underground conduit / wiring for future lighting of ball fields
- We need more than one more large shelter

- There should be lighting on the bocce courts and horseshoe pits for extended use
- Can we find room for a putting green?

Pool Negatives:

- This is not an adult-friendly design
- There are not enough chairs
- There is not enough deck space

Pool Improvements:

- We could use some bleachers for kids to use while adults use the sunbathing chairs
- We need shade for the baby pool
- Piping the creek will provide more room for pool deck expansion

Group #3:

Pool Positives:

- Zero-depth entry into pool
- Spiral slide
- Addition of water features in the baby pool

Pool Improvements:

- Do not duplicate water features - have them only in baby pool
- Expand entire eastern side of pool
- Heat both pools

Positives - Concept 'A':

- Parking in the play area
- Removal of the basketball court in play area
- Extra parking near ball fields

Improvements - Concept 'A':

- The amphitheatre could provide additional revenue
- Move the proposed parking for the upper baseball field to the southeast (away from ball field and road)
- Bocce should be a low priority
- The skate park is a better idea than bocce
- Our #1 priority should be restroom improvements
- Use rubberized mulch instead of bark mulch in play area
- Need better drainage in play area

Positives - Concept 'B':

- Different entrance
- Move Rapp Pavilion to play area

Negatives - Concept 'B':

- The pee-wee ball field shouldn't be rotated
- The Mussig Shelter shouldn't be moved

Improvements - Concept 'B':

- Only replace tennis courts when beyond repair, then transfer to skate park

Group #4:

Pool Positives:

- Zero-depth entry for both main pool and baby pool

Pool Improvements:

- Heat both pools
- Leave out the L-shaped barrier or expand the pool
- We need hot water in the bathrooms

- Resurface the pool deck
- Better pool lawn maintenance
- More covered seating
- More sunbathing chairs and a larger deck
- Move the proposed spiral slide
- Don't duplicate water features in both the baby pool and shallow portion of the main pool

Park Improvements - both Concepts:

- We may need more maintenance staff - the beautification of the park will cost a lot of money but we have to maintain it after that
- We need better lighting in the playground area to help eliminate vandalism

Group #5:

Pool Positives:

- New Slide
- Lap Lanes

Pool Negatives:

- It will cost more to add an extra lifeguard to cover the sections of the pool created by the divider
- Mud runs off of the hillside and would run right across the pool deck into the zero-depth entry
- Mothers need to be able to sit closer to the pool so they can see their kids
- Pool is being closed off by L-shaped barrier. We'll lose the openness of the water

Pool Improvements:

- Tables with umbrellas for parents to sit / chat / eat.
- More lighting for the pool.

Park Improvements - Concept 'B':

- Lights for ball fields
- Keep tennis courts no matter what / where they are
- Resurface tennis courts while waiting for new ones - must keep continuity of current offerings
- One of the large pavilions needs to have a kitchen facility with oven, fridge, and grills
- Ball fields should also be usable for soccer
- We need some unique playground equipment
- Move skate park if noise is an issue - possibly along Pittsburgh Street just east of little league field
- Keep sled riding hill open
- Need a lighting plan that is cognizant of neighbors / light pollution

Positives - Concept 'B':

- Skate Park is a good idea - it keeps kids off the streets.
- Playground kept along Beaver Street
- Bocce Courts
- Walking Trails
- New Entrance location
- Amphitheater

Group #6:

Park Improvements - Both Concepts:

- We need larger restrooms on top of the hill if we are going to put more large shelters in.
- We don't have enough maintenance / storage space as it is, and we'll need even more if new facilities are built.

- 1.4 Next all attendees engaged in a short discussion to voice any other comments not already mentioned by any one group. Comments made are summarized below:
- We should think about a large community hall - with capacity of 400 or 500 people. There are privately-owned halls in the area, but the biggest is the American Legion, which holds 250 people
 - Kitchen facilities should be available in all large shelters, including the existing masonic shelter
 - We need to double our maintenance staff / equipment to keep up with proposed improvements in the park
- 1.5 Rozzi stated that Pashek Associates would use comments from tonight's meeting, as well as further comments from the project study committee, to revise the conceptual drawings into a draft master plan. This plan would then be revised after further review including a 2nd public meeting to be held later on in the project process.
- 1.6 The date of the next study committee meeting has not yet been set. Pashek Associates will contact members of the study committee in the near future to discuss possible dates.

The information contained in these minutes was recorded by Pashek Associates and represents our interpretation and understanding of the discussions that occurred during the meeting.

Prepared by:

Vincent M. Rozzi, RLA
January 31, 2008



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Zelienople Community Park Master Plan and Pool Feasibility Study

Study Committee Meeting Four

7:00 pm Tuesday, March 18, 2008
Zelienople Borough Municipal Building

1. Present and Discuss Draft Master Plan - *45 minutes*
2. Review Questionnaire Results - *30 minutes*
3. Discuss Swimming Pool Design and Preliminary Cost Estimate -
30 minutes
4. Next Steps – *5 minutes*
 - Revised Draft Master Plan and Pool Plan
 - Hold Public Meeting #2
 - Schedule Study Committee Meeting #5

Project Contact:

Vince Rozzi
Pashek Associates
619 East Ohio Street Pittsburgh, PA 15212
412-321-6362
vrozzi@pashekla.com

Website Access for project information:

www.pashekla.com
In client workspace,
User name = **Zelie**
Password = **Park**

SITE DESIGN,
RECREATION PLANNING,
LANDSCAPE ARCHITECTURE,
COMMUNITY PLANNING,
ZONING



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SITE DESIGN,
RECREATION PLANNING,
LANDSCAPE ARCHITECTURE,
COMMUNITY PLANNING,
ZONING

Meeting Minutes

Zelienople Community Park Master Plan and Pool Feasibility Study
Study Committee Meeting Four

Meeting Date and Time:

7:00 pm, March 18, 2008

Meeting Location:

Zelienople Borough Municipal Building

Attendees:

Mr. Bill Tretter (Zelie-Harmony Athletic Association President)
Mr. John Bonomo
Mr. Ed Melberg
Mr. Tom Schneider
Ms. Miranda Berner
Mr. Jim Zeigler
Bob Good
Vince Rozzi

The following represents a brief review of discussions held during the above meeting:

- 1.1 Rozzi and Good began the meeting by distributing the meeting agenda and handouts (attached) to each attendee.
- 1.2 Next Rozzi reviewed the Draft Master Plan, explaining that this draft responds to input gathered and comments made on the two alternative concept plans presented at the public meeting in late January. Rozzi explained that after responding to all comments and input, the resulting Draft Master Plan was very crowded, and parts of the park were very deficient with regards to parking (needing approximately 190 more spaces).

For example, if several recreational facilities at the park were all being used at the same time (i.e. ball fields, picnic shelters, swimming pool, skate park), many visitors would not be able to park near the facility they wish to use.

Rozzi suggested either the removal of some of the low-priority proposed facilities or possibly downsizing of some facilities. The simple addition of more parking would make the plan even more crowded, and would drastically alter the park setting.

Rozzi also explained that the two areas in most need of more parking are the main parking area (serving the pool, playground, and 2 small shelters) and the picnic groves atop the hill near the adult ball field. Parking in this area serves the amphitheater, 3 large shelters, and 1 small shelter.

Committee comments on the plan are summarized below:

- We need to keep the park entrance on Division Street open - this plan only shows one entrance/exit - that is going to create a huge bottleneck for traffic coming into and out of the park. Right now cars have 5 options when leaving (2 turns from one exit, and 3 directions from another exit). This plan is cutting that to 2 options (2 turns from one exit only).
- We need to add another exit somewhere and re-configure some parking.
- We may be able to move the tee-ball field from the park to the other Borough property near the Sportsman's Club on Front Street.
- We should put more parking where the t-ball field is proposed in this plan.
- The gazebo has been beaten up / vandalized pretty badly. Restoring it may not be worth it. I think that can be removed altogether instead of relocated.
- Right now park visitors park along Beaver Street when they can't park in the park's parking lots. If there are two entrance/exits, that on-street parking may need to be eliminated
- We really need to take into account the amount of park users that walk to the park - they don't need a parking space
- Atop the hill, we can get parking on both sides of the existing access road near the shelters with a little extra grading
- We should replace the tennis courts with another picnic shelter and more parking
- Right now people park all along the side of the road nearest to the adult ball field atop the hill. With an overhanging backstop and/or higher fence, we could add formal parking there.
- We must make sure there are barriers in place so people don't park in the grass. Just signs telling them to do so will not work.
- Lots of people using the two ball fields nearest to the school park in the existing gravel lot on Pittsburgh Street. Does the plan account for that? (Rozzi explained that those parking spaces are accounted for in the total parking analysis (attached))
- There is room for more parking beside the tennis courts.
- One possibility other entrance/exit is onto the side street near the Masonic Lodge.
- The people on that street wouldn't want park traffic on their street.
- We could replace the bocce courts with more parking (Rozzi suggested that the maintenance area could be placed where the bocce courts were proposed on the plan, with a gated emergency / events exit onto the side street passing by the maintenance area)

1.3 Good and Rozzi then reviewed the results of the questionnaire (attached), noting encouraging statistics, such as 1) 77% of respondents live outside of Zelienople Borough, 2) 73% of respondents said municipalities besides Zelienople should financially support the park in some way, and 3) 41% of respondents said they would be willing to make a donation (over/above membership fees) for improvements to the swimming pool.

1.4 Good then reviewed two alternative concept plans for the pool, based on input received on the pool concept plan presented at the public meeting in late January. The committee discussed each option and another option was also offered by committee member Tom Murray, who was unable to attend the meeting. Comments made during the discussion of the pool are summarized below:

Good reviewed the two options. Both concepts propose leaving the main portion of the shallow swimming as it currently is. The existing lane lines would also remain as they are in the current pool. A zero depth, beach entry would be created as an addition to the pool in the northeast corner of the existing pool. Water play equipment would be installed in this area. A new flume slide would be added in the L shaped southwest corner where the shallow area meets the deep

area. The existing drop slide would remain at its present location. The wading pool would be changed to include a beach-like entry and water play equipment. A new fence will be installed from the pool entrance near the men's changing room to the wading pool. This will funnel users to enter the pool area nearer the shallow water or go directly to the wading pool. A portion of the current diving area will be made shallower to accommodate the flume slide entrance. In **Option A** it was proposed that the pool be enlarged along the northerly wall by approximately 10'. A concrete deck would extend beyond that for an additional 15' to where the current fence is located. The fence would be removed and a wooden deck measuring approximately 25'X60' would be cantilevered over the adjacent waterway. **Option B** would not include the pool expansions outlined in Option A.

The additional concept proposed by Mr. Murray would realign the swimming lanes to an east-west direction and extend the pool by several feet to the east to accommodate the new lanes. This would provide for additional swimming space as well.

There was some discussion about the cost of expanding the pool versus the amount of additional space gained, and the value of that space. Good suggested that the cost of the expansion (estimated at about \$250,000), plus the cost of the new decking (approximately \$200,000) would not provide adequate value to attract sufficient new users. He suggested that the existing pool had a market niche of serving the residents who were looking for a smaller, more intimate swimming experience. This has been part of the success of the existing pool. There is not enough space to expand the pool to become a larger Cranberry-type pool at this location. If the community is indeed going to outgrow the existing pool, a new site will be needed in the future on which to develop it. The objective of the existing pool is best suited to serving a smaller group by adding amenities that will attract more users while keeping it intimate style. Such amenities would include the new water slide, beach entry, upgraded wading pool, additional shade structures, the new sun deck, improved concession services, and added poolside amenities such as tables, umbrellas, lounge chairs, gathering areas, and an attractively designed entrance.

The committee concurred that Option B was the preferred choice but would like to plan for the additional of the wooden sun deck included in Option A.

- 1.5 Rozzi stated that he would send the completed alternate concept plans to committee members between this meeting and the public meeting so that they can review them prior to the public meeting.
- 1.6 The Next (5th) Study Committee Meeting was tentatively scheduled for **7:00 pm on Tuesday, May 6th** at the Zelienople Borough Building. If this date changes, all committee members will be notified. Rozzi explained that at the next study committee meeting, Pashek Associates would have revised Draft Master Plans and possibly preliminary cost estimates. After that meeting, plans would be again revised and then presented at the second public meeting.

The information contained in these minutes was recorded by Pashek Associates and represents our interpretation and understanding of the discussions that occurred during the meeting.

Prepared by:

Vincent M. Rozzi, RLA
March 19, 2008



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Zelienople Community Park Master Plan and Pool Feasibility Study

Study Committee Meeting Five

7:00 pm Wednesday, May 18, 2008

Zelienople Borough Municipal Building

1. Present and Discuss Revised Draft Master Plan and *rough* cost figures - *45 minutes*
2. Review Revised Swimming Pool Design, Cost Estimate, and Financial Analysis - *45 minutes*
3. Next Steps – *5 minutes*
 - Revise plans per comments from tonight's meeting
 - Hold Public Meeting #2 to review the project and receive input
 - Distribute Final Report to Study Committee for review
 - Schedule Study Committee Meeting #5 to review report comments and discuss any other plan aspects
 - Send Final Report to DCNR for review and comment

Project Contact:

Vince Rozzi
Pashek Associates
619 East Ohio Street Pittsburgh, PA 15212
412-321-6362
vrozzi@pashekla.com

Website Access for project information:

www.pashekla.com
In client workspace,
User name = **Zelie**
Password = **Park**

SITE DESIGN,
RECREATION PLANNING,
LANDSCAPE ARCHITECTURE,
COMMUNITY PLANNING,
ZONING



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SITE DESIGN,
RECREATION PLANNING,
LANDSCAPE ARCHITECTURE,
COMMUNITY PLANNING,
ZONING

Meeting Minutes

Zelienople Community Park Master Plan and Pool Feasibility Study
Study Committee Meeting Five

Meeting Date and Time:

6:30 pm, May 28, 2008

Meeting Location:

Zelienople Borough Municipal Building

Attendees:

Mr. Bryan Branby
Mr. Tom Murray
Mr. Ed Melberg
Mr. Tom Schneider
Ms. Miranda Berner
Ms. Kathleen Torso
Mr. Don Pepe
Bob Good
Vince Rozzi

The following represents a brief review of discussions held during the above meeting:

- 1.1 Rozzi and Good began the meeting by distributing the meeting agenda and handouts (attached) to each attendee.
- 1.2 Next Rozzi reviewed the revised Draft Master Plan, explaining that this draft responds to input gathered and comments made at previous meetings. Rozzi explained that after responding to all comments and input, the revised Draft Master Plan better accommodated the parking needs within the park. The revised plan was still 80 parking spaces short of the number needed to accommodate daily use at every facility in the park simultaneously, but the need for that parking may never occur.

Comments made during the ensuing discussion on the revised master plan are summarized below:

- We may be able to fit more parking near the large (100' x 30') shelter. People double park there on the grass now. We could use it for overflow parking.
- Can we move the parking lot near the existing rotary shelter to the west about 20 feet? This would open up more space on the existing sled riding hill.
- Can we remove some of that parking? It is encroaching on the sled riding hill. (Rozzi explained that parking was a much higher priority than the sled riding area, which was one of many hills in the park used for sledding).
- I think parking is a much higher priority than sledding.

- We should move the skate park - it is in violation of an agreement between the Park Association and Mr. Tom Murray to leave that area as green space.
- We could add the skate park in the space of one of the existing tennis courts, and reduce the number of tennis courts from 3 to 2.
- We should move the restroom (map #22) to either a spot near Beaver Street, or add it onto the existing Baseball Association storage building.
- We should keep the tennis courts in their existing position because they are a lower priority than restrooms. We should move the proposed restroom (map #22) so that when the restrooms are built elsewhere, we still have use of the tennis courts.
- We need another restroom at or near the playground area, perhaps added onto the concessions / storage building near the youth ball field.
- I see the priorities in the park as parking, restrooms, and the pool. Their placement should be most important.
- The tennis courts are still used, but are not in good condition. This prevents heavier use -- they are so cracked that the court surface is difficult to play on.
- We need to switch the positions of the relocated Mussig Shelter and the proposed playground. This would make the play area safer because it would be bounded by fence on two sides, and would also lessen vandalism on the shelter because it would be right in front of the park.
- The maintenance access road to Culvert Street is a great idea. I'd like to see no garbage trucks on the loop road in the park at all, and with that access road we'd be able to get dumpsters picked up at the end of Culvert Street. The garbage truck has to drive up that street regularly anyway.
- The location for the maintenance garage is good - it's a relatively quiet facility so it's ok next to the adjacent houses.
- We should be able to screen the maintenance area from view pretty easily in its location on this plan.
- The maintenance garage may need to be bigger if it is to replace all the other storage space in the existing buildings throughout the park.
- We will need to approach the Mason's Lodge regarding an agreement to either purchase or use about 50' of their property in order to access Culvert Street. I think they will be pretty amicable to that idea - they don't use that part of their property.
- We may actually be able to provide the Mason's Lodge access via that part of their property as well if we build the maintenance drive / emergency access to the park.

1.3 Good then reviewed the Revised Pool Improvement Plan, cost estimates for improvements, associated operating expenses and revenue, and distance traveled to use the pool. Good led a discussion of issues related to the plan and to probable costs, expenses, and revenue. Comments from that discussion are summarized below:

- Those present were very satisfied with the re-design of the pool
- It was suggested that rather than going to the expense of building a wood deck on the north side of the pool, we should simply expand the grassy area
- The question was asked, "Based on the financial, use, and market analyses, will the pool be able to cover expenses?" Good responded that the pool should be able to continue to cover its operating expenses and even have some left over to contribute annually toward capital improvement costs. However, pool revenues will not be able to cover a majority of the capital improvements.

- 1.4 The Committee scheduled the remaining meetings for the Master Plan / Pool Feasibility Study project. The 2nd and **final public meeting** was scheduled for **Wednesday, July 9th at 7:00 pm** in the Borough Council Chambers. This meeting would serve as a review of the project and a chance for the public to provide input on the progress so far. The **final (6th) Study Committee Meeting** is scheduled for **Wednesday, July 30th at 6:30 pm** at the Zelenople Borough Building. Prior to this meeting, Pashek Associates will send a draft copy of the narrative master plan / feasibility study report to committee members for review. The meeting will be a discussion on the report and on any project issues yet unresolved. After the final study committee meeting, Pashek Associates will send a revised draft of the project report to DCNR for their review.

In addition, Pashek Associates will provide a brief project review to **Zelenople Borough Council at their meeting on Monday, August 11th at 7:30pm** in the Borough Council Chambers. This will be the final meeting for the project.

The information contained in these minutes was recorded by Pashek Associates and represents our interpretation and understanding of the discussions that occurred during the meeting.

Prepared by:

Vincent M. Rozzi, RLA
May 29, 2008



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COMMUNITY PLANNING,
ZONING

Meeting Minutes

Zelienople Community Park Master Plan and Pool Feasibility Study

Public Meeting #2

Meeting Date and Time:

7:00 pm, July 9, 2008

Meeting Location:

Zelienople Borough Municipal Building

Attendees:

Tom Schneider
Ed Melberg
Kathy Torso
Andrea Simmons
Josh Simmons
Matt Schuman
Jessica Schuman
Anysia Richardson
Charlie Fulmer
Beth Adams
Zeb Sapienza
Aaron Kneiss
Joseph Clark
Austin Malone
Ian Hess

John Vrana
Colleen Snow
Bryan Snow
Sophia Snow
Mickey Flood
Don Pepe
Dustyn Glies
Kristin Glies
Greg Young
Barb Gerginski
Alison Gerginski
Ron Goehring
Jen Shank
Vince Rozzi, Pashek Associates

The following represents a brief review of discussions held during the above meeting:

- 1.1 Vince Rozzi from Pashek Associates briefly introduced Pashek Associates and described a master plan as a fundraising tool to be used by the Borough to acquire grant funding for actual construction of improvements at the park.
- 1.2 Rozzi then reviewed the Master Plan Process, including: Public Participation, Inventory / Analysis, Design, Cost Estimation / Phasing, and Identification of Potential Funding Sources

Rozzi reviewed the Site Analysis Plan for the Park and Existing Conditions Plan for the pool, explaining elements of each that were studied during the site inventory and analysis phase of the project, which included both desktop analysis and field observation.
- 1.3 Then Rozzi presented revised draft master plans for the park and swimming pool, explaining that these plans responded to the latest comments made by the project study committee.
- 1.4 Following the presentation, Rozzi asked attendees to take a 5-minute break and come to the front of the room to look at the plans closely if they had not already done so. After the break, Rozzi led a discussion on the plans, and asked attendees to write their comments on note

cards distributed before the meeting. Comments made during this discussion are summarized below:

General:

- The cost estimate, and phasing plans for both the pool and park need to be the next step, and the pool cost estimate needs to include costs for bath house improvements
- We need paved bike trail access to the park separate from roadways, and a bike trail within the park
- Kids need outdoor activities
- The entrance and parking needs to be softened up
- We could stripe off 4' or 5' of the loop road as a bike trail
- What purpose does moving the basketball court have?
- Can we avoid using hard pavement for roads / parking in all portions of the park?
- We should move and consolidate all concession stands
- Has lighting some facilities been considered?

Skate Park:

- A skate park provides a place where skaters can practice.
- It gives them the opportunity to improve.
- A bigger skate park will be able to generate money
- Move the tennis courts to the southern area of the park atop the hill, possibly near the proposed parking area for the proposed large pavilion.
- vandalism will happen no matter what
- must have a bigger skate park (8)
- do we even need the tennis courts? / not many tennis players (2)
- can we utilize the old tennis courts? (this space occupied by maintenance facility on draft plan)
- enlarging (elongating) the skate park is worth losing a few parking spaces (2)
- we should further limit the tennis space
- we should make the skate park a pay park,
- make the skate park the size of all three tennis courts (2)
- area kids have no legal place to skate (2)
- a skate park will bring in money to the park and community, tennis will not (2)
- a larger skate park will be needed to draw kids in from surrounding areas
- people will not pay to use a small skate park
- small skate parks in surrounding areas are free
- a better-designed / destination skate park will bring in more people willing to pay for its use (3)
- the existing tennis courts are used on a daily basis despite their bad condition
- one should be able to skate TO the park and around town also
- The Borough could charge a single reduced fee for those buying a day pass to both the pool and skate park
- A manager would be needed at the skate park to check tags, help in case of injury, etc.
- \$3 is a good starting price for a day pass at a skate park

Pool:

- ☛ We should keep the separate fenced-in baby pool
- ☛ I like the zero-entry at the big pool
- ☛ Depth at deep end of the pool needs to stay at 12 feet for diving lessons
- ☛ get rid of baby pool and put longer slide (into larger pool) in its place

- ☛ please re-consider refurbishing the deep end of the pool. Keep it at current depth - do not make it 7'-6" per plan. The cost of filling that deep end with concrete is high.
- ☛ As a former coach and swimmer it is important to keep the deep end, it is very popular with older swimmers.
- ☛ Lifeguard instruction includes diving which requires deep water.
- ☛ Please do not create the sloping sides in the deep end. The deep end should be full depth right at the pool wall (2)
- ☛ the deep end of the pool is too shallow (2)
- ☛ can we eliminate the separate baby pool and make it a splash pad or sand box?
- ☛ there is no need for a separate baby pool with the zero-depth entry into the big pool
- ☛ we only need one slide not three
- ☛ deep end should be 9-1/2 to 12 feet at least
- ☛ keep area in front of guardhouse open for visibility - move the big slide to a spot near the baby pool
- ☛ will there be any shade umbrellas added to the pool area?

1.5 The next steps in the study include revising the plans per tonight's comments, estimating costs, and developing a phasing strategy based on perceived availability of grant funding.

The information contained in these minutes was recorded by Pashek Associates and represents our interpretation and understanding of the discussions that occurred during the meeting.

Prepared by:

Vincent M. Rozzi, RLA
July 10, 2008



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**ZELIENOPE COMMUNITY PARK
MASTER PLAN and
POOL FEASIBILITY STUDY
Study Committee Meeting Six**

7:00 pm Wednesday, August 20, 2008
Zelienople Borough Municipal Building

1. Discuss Draft Master Plan Recommendations - *45 minutes*
 - ☛ Revised Park Layout
 - ☛ Cost Estimates
 - ☛ Phasing
 - ☛ Report Comments
2. Discuss Pool Feasibility Study Recommendations - *45 minutes*
 - ☛ Revised Pool Layout
 - ☛ Cost Estimates
 - ☛ Report Comments
3. Next Steps – *5 minutes*
 - Revise plans per comments from tonight's meeting
 - Send Final Report to DCNR for review and comment

Project Contact:

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Website Access for project information:

www.pashekla.com
In client workspace,
User name = **Zelie**
Password = **Park**

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Meeting Minutes

Zelienople Community Park Master Plan and Pool Feasibility Study

Study Committee Meeting Six

Meeting Date and Time:

6:30 pm, August 20, 2008

Meeting Location:

Zelienople Borough Municipal Building

Attendees:

Mr. Tom Murray
Mr. Ed Melberg
Mr. Tom Schneider
Mr. John Bonomo
Mr. Jim Zeigler
Mr. Aaron Kneiss
Bob Good
Vince Rozzi

The following represents a brief review of discussions held during the above meeting:

- 1.1 Rozzi and Good began the meeting by distributing the meeting agenda and (attached) to each attendee.
- 1.2 Next Rozzi briefly reviewed revisions to the Park Master Plan per comments at the 2nd public meeting (held in July). Rozzi and Good then asked attendees to voice their opinions on the Draft Master Plan / Feasibility Study Report (including revised park and pool layouts), which had been distributed to committee members one week prior to this meeting.

Comments made during the ensuing discussion are summarized below:

- The water and sewer lines extending up the hill from the pool and main park entrance drive can only accommodate a certain amount of capacity. If we tap into the water line for additional restrooms, etc., we may lose pressure, and the sewer line may not be large enough to accommodate flow from several sources at once.
- Water line extension from Endres Drive to the south may be a possibility for the larger shelters proposed atop the hill
- There is no sewer line where the restroom east of the tennis courts is proposed. The sewer line from the existing restroom would have to be re-routed around the tennis courts and basketball court.
- Rotation of the youth field will require expensive earthwork and replacement of fencing, etc. Is it in a later phase of development according to the plan? (yes)

- The plan proposes a liquid chlorine system for the pool. Isn't that we had before the current system that uses chlorine tablets?
- The former system was actually gaseous chlorine, which is the most efficient but also carries risk of exposing chlorine to the atmosphere -- the liquid system is a closed injection system in which trucks could use hoses to deliver chlorine directly into chlorine tanks in the filter building.
- Rozzi read two emails from Bill Tretter, representing the Zelig-Harmony Athletic Association (ZHAA). These emails regarded the proposed removal of the tee-ball field, and that it would detriment the youth baseball program, which constitutes 25% of the ZHAA's youth baseball program. Rozzi then explained that the removal of the tee-ball field is in the second proposed phase of development, meaning the actual removal of the field may be 6-7 years away or more. This should enable the Borough or ZHAA or Park Association to identify suitable land for other fields.
- We have to find more land. A park at the Borough's property near the Sportsman's Club (southwestern corner of the Borough) would be a nice addition to the park system.
- Do the proposed larger pavilions have kitchenettes? (Rozzi explained that both larger proposed pavilions include kitchenettes, and the largest pavilion also includes its own restrooms)
- We will have to extend sewer to the largest proposed pavilion
- Do we need a fire hydrant for the pavilions?
- The situation when the proposed pavilions are built will be no different than now - the same number of buildings will be there in the picnic grove. The pavilions would burn too quickly for the volunteer fire dept. to save anyway.
- The hydrant may be needed for safety.
- Does the total pool estimated cost include the cost of the rehabilitation as well as proposed additions / improvements? (yes)
- The deep end of the pool needs to be 9 or 10 feet deep for lifeguard training. However, the pool doesn't currently offer lifeguard training anyway - life guards go to Butler or other locations for training.
- Is most of the newer play equipment to be retained? Some of it is relatively new and shouldn't be removed. (Rozzi explained that play equipment not meeting current safety standards should be removed, and all equipment to be retained should be consolidated in one area)
- Is our next step as a park committee to approve the plan and recommend its approval to Borough Council? (Rozzi and Good explained that the park committee, if happy with the plan, should recommend its adoption to the Borough Council, pending revisions per DCNR comments).
- The Council will not have to make any motion regarding the master plan / feasibility study during next monday's meeting, during which Pashek Associates will give a brief overview of the plan and receive input from Council members who reviewed the draft master plan report.

1.3 Pashek Associates will provide a brief project review to **Zelienople Borough Council at their meeting on Monday, August 25th at 7:30pm** in the Borough Council Chambers. This will be the final meeting for the project. The Draft Report will then be revised per tonight's comments and the Council's comments, and sent to DCNR for final review.

The information contained in these minutes was recorded by Pashek Associates and represents our interpretation and understanding of the discussions that occurred during the meeting.

Prepared by:

Vincent M. Rozzi, RLA
August 21, 2008



APPENDIX B:

Key Person Interviews

ZELIENOPE COMMUNITY PARK MASTER PLAN

Key Person Interviews

Marnie Repasky

Executive Director, Zelianople / Harmony Chamber of Commerce

11/30/07

1) What involvement does the Chamber have with the Community Park?

Horse Trader Days, Zelianople's biggest festival, was held at the park for the first time (44th annual festival) in 2007. The events held at the park were the classic car cruise and some concerts. The events will continue at the park next year.

The Business Association (a subcommittee of Chamber members) is in charge of horse trader days. They began having trouble having events in the parking lot of Northgate Plaza (north of the Borough along Route 19) when Jackson Township decided they would charge a \$500 permit fee for holding the events in the parking lot.

We also have a memorial bench program and have provided matching trash receptacles in the park. The program started in 2001.

I often refer people to the shelters in the park for rentals or to the pool on summer days.

2) What is good and bad about the park? Anything you would like to see improved? Our committee has briefly discussed an outdoor gathering space as a new facility. Any thoughts?

The park's location is great for our events. Vendors set up downtown for Horse Trader Days said this past year that they had better attendance than any time in recent memory and they point to the fact that visitors at the festival could walk to events at the park and back (as opposed to driving to the plaza north of town).

The gathering space would be a great idea because more small concerts could be held there throughout the summer - right now we sponsor a series of small concerts in Harmony Borough and people bring out lawn chairs in the evening to watch the show.

ZELIENOPLE COMMUNITY PARK MASTER PLAN

Key Person Interviews

Pat Griest

Park neighbor, lighting rep, senior citizen, uses park trails

11/30/07

1) What do you think about the trails in the park? - what is good? what needs improved?

The trails are quite nice now, but could use a little improvement. Lots of trees are fallen across the trail. I often pick up sticks, etc. when I'm using the trails. There are lots of roots on the trail and some spots are often wet and mushy. Years ago the trail had exercise stations but they have deteriorated. We need some benches or waystations where trail users can rest and just take in nature. Lighting at the entrances to the trail would be nice (and I'm not just saying that because I'm a lighting rep!).

2) One of the main things I noticed when out on the trails in the park was that, as a first time trail user, I did not know what was a park trail and what wasn't. A map would be very helpful. Any thoughts?

A kiosk with a fold-out map would be great for first-time visitors to the trails. Marking the trail difficulties, distances, trail route markers, and names / color codes would be great too.

3) Anything else to add?

A lot of scout troops and other groups help to maintain the trail - they spread wood chips, etc. which helps keep the trail nice. I like watching the middle school (6th-8th grades) cross country races. They use the trail and they need that soft surface created by the wood chips. They run in groups of 20 or 25 during meets and are usually spread out along the course.

Also, I think it would be great if somehow more people knew about the trails at the park. That would draw more users to the park that otherwise wouldn't visit.

ZELIENOPE COMMUNITY PARK MASTER PLAN

Key Person Interviews

Greg Caprera

Athletic Director, Seneca Valley High School

12/3/07

1) Members of our project study committee have mentioned that a lot of Zelienville residents use tennis courts at the [Seneca Valley] High School. How many courts do you have? Do they receive heavy use?

We have six courts that we refinished about a year and a half ago. We also have a hitting wall for solo play. The courts are used constantly in the summers. There is lots of casual play plus every week we hold 4-day youth tennis camps. Eric Groves (Physical Education Teacher at Connoquenessing Valley Elementary School) runs the camps.

2) Are there any leagues on the high school courts?

No, no leagues currently use the courts.

3) Do any of the camps utilize the Community Park's tennis courts?

No

4) Some park neighbors we've interviewed said they enjoyed watching kids run cross-country on the park's trails. Are those middle-school kids using the trail? Does the high school team ever use the park's trails?

The high school cross country team holds all practices on the High School campus. However, we would definitely be very supportive of any effort to improve trails at the park for cross country running use. I would love to give the kids the opportunity to get off the high school campus to run for practice. Please give me a call if I can be of any help to the project committee.

ZELIENOPLE COMMUNITY PARK MASTER PLAN

Key Person Interviews

Claire Torso

Park Neighbor, interest in tennis and water aerobics, uses park trails, former Girl Scout leader
12/5/07

1) I understand you are interested in water aerobics at the pool. Do you have any comments on water aerobics or other pool programming?

I have taken water aerobics classes at the pool a few times. I did not take a class this past year however. The classes were from 8-9pm twice a week.

I also swim laps at the pool frequently. I think we could use more designated lap time, but I realize that may not be feasible with all the other activities at the pool. I can usually make it to the pool in the morning during the summer because I am a teacher, but I think using the open 8-9pm spots during the week for designated lap swim would work well.

One of the reasons my husband and I moved here about 20 years ago was that we were in walking distance to the pool. I think it's a great asset to the community. I belong to the YMCA and swim there in the winter but still use the park pool during the summer every year.

2) Do you use the tennis courts at the park also?

My husband and daughter Kathleen play tennis much more than I do. I know there were once leagues at the tennis courts in the park, and Kathleen went to a tennis camp there when she was very young. Kathleen (a Project Study Committee Member) told me that there was talk of possibly moving the tennis courts around the park to make room for a skate park. I think that is a wonderful idea.

3) Do you use the park for any other activities?

I hike on the park's trails very often. Most of our neighbors access the park's trails from a trail leading into the park from our neighborhood. The trails are great.

4) Tell me a little more about the trails. What is good and bad about them?

The Girl Scouts and Eagle Scouts have done some wonderful projects on the trails. Some of them were done years ago and are now gone. One was a wishing well along the trail, and one was a permanent map that has since been removed after disrepair. I think having a permanent map display would be a great idea. Paint blazes on trees or other markers along the trail might also be a good idea. I think another thing that is needed is a sign thanking the Scouts for all their help on past and present projects on the trails.

You may want to talk to Tom Murray on your committee. He has a small trail network on his property that I use for cross-country skiing. I'm not sure that he'd like it included in maps of park trails though. He used to have maps of all the park's trails however. Its worth asking him about.

5) Is there anything else you'd like to add?

I've been involved with the park since about 15-17 years ago since I helped a mothers' group that I belonged to build the blue and yellow play equipment that is still in the park today. I think the project you are helping with is a great idea and I love the fact that the park is in the community.

ZELIENOPE COMMUNITY PARK MASTER PLAN

Key Person Interviews

Charles Cantella

Jackson Township Resident (forwarded questions via Roy Huffman, Jackson Township Supervisor)

1/8/08

1) Are you aware of / have you used any of the facilities offered at Zelianople Community Park? (ball fields, hiking trail, walking paths, playground, tennis courts, basketball court, public swimming pool, picnic shelters)

Yes - we often go there in warmer months

2) Do you travel to other places to use similar facilities? Where to?

We've gone to other local parks: Evans City, Cranberry Township, Mars

3) Do you feel that the residents of Jackson Township travel other places to use similar facilities? If so, why?

I think one of the biggest problems is the lack of restrooms. I have two young kids...with small bladders. When they say they need to go, there is not a lot of time to get to a restroom. I'm not sure about other Jackson Township residents, but many may not be aware that we have a park.

4) We look at Zelianople Community Park as a Regional Park, even though it is financially supported almost wholly by Zelianople Borough. In your opinion, would Jackson Township residents be willing to contribute financially to park improvements? Perhaps if incentives were offered (lower season swimming pool pass prices for Township residents, use of park facilities for Township community events, etc.)?

I think there are many ways to finance Park improvements. I believe we are on the cusp of Appalachia, which might entitle us to some government money... Slippery Rock has revamped their downtown with such money. Other things might be a two tiered pricing for the pool..... People who financially support the park get in for a smaller price, non-members pay more.

5) In your opinion, would Jackson Township be willing to participate in any multi-municipal recreation studies centered around the park? This may be a possibility in the future if Zelianople applies for grants to improve the park - many state grant agencies look favorably on partnerships between municipalities.

When you say "would Jackson Twp be willing to....." do you mean the residents, or the administration? I think our residents are personally very busy and have limited time, but as a function of our administration, I believe its a great idea. In school our kids are taught to share, and to cooperate. Its a lesson that should serve us well all of our lives.

ZELIENOPE COMMUNITY PARK MASTER PLAN

Key Person Interviews

Jeff Cowart

Jackson Township Resident (forwarded questions via Roy Huffman, Jackson Township Supervisor),
Zelie-Harmony Athletic Association Member

1/8/08

1) Are you aware of / have you used any of the facilities offered at Zelianople Community Park? (ball fields, hiking trail, walking paths, playground, tennis courts, basketball court, public swimming pool, picnic shelters)

As a member of the Zelie-Harmony Athletic Association (ZHAA) and coach of a separate travelling youth baseball team, I use the fields. My son is an avid baseball player. He also uses the pool with his friends so we bought him a membership.

2) Do you travel to other places to use similar facilities? Where to?

We belong to Treesdale Country Club, so we use the pool and tennis courts there a lot.

We used to use Cranberry Township Park frequently when my son was younger because they have an elaborate fortress / jungle gym structure right next to the basketball court. I used to shoot baskets while watching him play on the play equipment with his friends.

3) Do you feel that the residents of Jackson Township travel other places to use similar facilities? If so, why?

I think I'm in the minority of Jackson Township residents in that my family travels to use other facilities. The majority of our residents use Zelianople's Park.

4) We look at Zelianople Community Park as a Regional Park, even though it is financially supported almost wholly by Zelianople Borough. In your opinion, would Jackson Township residents be willing to contribute financially to park improvements? Perhaps if incentives were offered (lower season swimming pool pass prices for Township residents, use of park facilities for Township community events, etc.)?

Yes they would. But you'll find that only those that use the park will be willing to donate, and only while they use it. For example, once my son is old enough that he isn't playing baseball at the park any more, I'll be less interested in donating money to the park.

I would like to add that I think the ZHAA and the Borough have a great relationship, and that most people in the Zelianople-Harmony area don't realize how nice their ball fields are for a town the size of Zelianople. Our fields are REALLY nice compared to others I've seen in similar areas.

5) In your opinion, would Jackson Township be willing to participate in any multi-municipal recreation studies centered around the park? This may be a possibility in the future if Zelianople applies for grants to improve the park - many state grant agencies look favorably on partnerships between municipalities.

Jackson Township, Zelianople Borough, and Harmony Borough could be partners. Outside of that I think you may not see much willingness to participate. Some people here would be very interested in such planning projects, or new developments, etc. However, that relate to "newer" residents more. I've been here 10 years and am considered a new resident. Some families have lived in the Zelianople area for generations and are a little more adverse to change, new development, sharing power in any effort, etc. So the answer is yes and no.

ZELIENOPLE COMMUNITY PARK MASTER PLAN

Key Person Interviews

Rich Goehring

Harmony Borough Resident, Park Neighbor, interest in tennis / once involved with tennis leagues
2/1/08

1) Are there any tennis leagues that still use the park's courts?

No, not any more. 30 years ago when my wife and I moved here, there were leagues using the tennis courts at the park. Now there are some groups that come and play, but no leagues. I think even that use is down because the courts are in disrepair.

2) A few of our ideas include: moving the courts to the top of the hill near the existing adult ball field (to make space for a skate park); and/or removing one court and only maintaining 2 courts. How well do you think such changes would be liked?

I think 1 or 2 courts would be plenty - we don't necessarily need 3. Some people use the high school's courts. There have been some vandalism and drug use problems up on top of the hill in the park because it is so far from plain sight, so it might not be a good idea to put the courts up there. The old tennis courts location near the pee-wee ball field is a good place for tennis since it is a relatively quiet sport. I also think it would be a good idea to put something like a skate park where the tennis courts are now - right out in the open.

3) We have heard some concerns about the surfacing on the existing courts. Do you think asphalt should be the surfacing used on the new courts (wherever in the park they may be) or would another surface be better?

Other surfaces that I've played on or heard about weren't as well liked as asphalt. With a good base, asphalt surfaces can be beautiful. An example is the asphalt surfacing on the courts at Seneca Valley High School. They had a had stone base beneath the courts to begin with, which has helped, but the court surfaces are very nice color-coated asphalt.

ZELIENOPE COMMUNITY PARK MASTER PLAN

Key Person Interviews

Ron Lamneck

Seneca Valley School District - Buildings, Grounds, and Security Director - has been the contact person for Park Association and/or Zelig/Harmony Athletic Association when those groups proposed changes on the school property leased to the Park Association.

2/1/08

1) What types of changes have been proposed in the past on the School District's property leased to the Park Association?

The Athletic Association has built dugouts, a storage building, and a concessions building on the property. Nothing too too big.

2) How did they convey their intentions to the School Board?

They brought plans or blueprints to me and I submitted those plans to the school board.

3) Would it be best to follow the same process for changes proposed in the master plan (possibly remove tennis courts, possibly change park entrance, etc.)?

It would probably be better for the School Board to be addressed directly for bigger proposed changes. Even if they are long-term ideas, keeping the School Board in the loop is a great idea. Historically, they have been very supportive of changes on the property as long as they are kept informed. Perhaps a presentation by a member of your firm and a representative of the Borough could be made to the Board.

4) This question is unrelated to the others. I have rave reviews of the tennis court surfaces at Seneca Valley High School from several people during this project. What is the surface on those courts and was anything special done to improve the court surface?

The courts are asphalt with a color-coat on top. The old high school courts were in a flood plain area and the ground was pretty soft - so the courts cracked very quickly and became a maintenance problem. So, when Foreman (a local design firm) designed the new courts, they had a contractor excavate much deeper and replace the loose soil with riprap and stone to create a stable base. Now the courts still crack, but not nearly as much.

If you are looking for ideas for new courts at the park, look into fabric that can be installed before the asphalt court surface is installed. I have not seen such fabric used for courts before, but it has been used in other applications and supposedly does wonders to prevent cracking.

ZELIENOPE COMMUNITY PARK MASTER PLAN

Key Person Interviews

Dave Szakelyhidi

Harmony Borough Council / Harmony Borough Water Authority

2/1/08

1) Was the Zelienople Community Park once owned by both Zelienople and Harmony Boroughs?

No, the park was privately owned in the recent past by the Park Association, who would solicit families in the area for park memberships. I believe these memberships included everything at the park - the pool, shelters, etc. but I could be wrong. Zelienople Borough took over the park just a few years ago.

2) How does the Community Park fit into the park system for Harmony Borough? How is the park used by Harmony residents?

Lots of Harmony residents use the park. We have 3 of our own parks that we maintain: Wood Street Park, Jackson Street Park (at which a canoe launch is planned), and Swampoodle Park, a playground.

Our 1972 Master Plan called for a park in each of our neighborhoods. The Division Street / Pittsburgh Street Neighborhood of course related to the Community Park and most of its residents used that park. It was part of our master planned because it was privately owned - so neither Zelienople or Harmony owned the park.

3) One of our goals for the Master Plan is to encourage intergovernmental cooperation to the greatest extent possible, being that the Zelienople Community Park is in essence a regional park used by residents of several municipalities. Do you think other municipalities, including Harmony, would be willing to participate in regional recreation efforts?

I know that the intergovernmental cooperation may help to make us eligible for more grant funding, so of course I think that's good. Harmony and Zelienople have historically cooperated with each other. However, Jackson and Lancaster Township haven't with Zelienople or Harmony. A while ago, the four municipalities signed an agreement for regional Emergency Medical Services (EMS), and Jackson Township pulled out almost immediately, then Lancaster Township just pulled out last week.

You will probably have trouble getting them to willingly participate in anything.

More cooperation builds a stronger relationship. Harmony and Zelienople representatives have cooperated in the past, and will continue to do so. It is in everyone's best interest. We are thinking of combining on a Main Street Project in the future.

Main Street in Zelienople once ran through Harmony. What is now Grandview Ave. was once East and West Main Street, and North Main Street did not cross the Connoquenessing Creek (to what is now Route 19 North and the BiLo plaza).

4) We would like to keep the Harmony Borough more involved. Is there any way we can do that?

I've already spoken to Jeff Smith, or Council President. He should be calling you in a few days to talk about sending a representative over from Harmony Council to a few of your committee meetings.

APPENDIX C:

Questionnaire Results

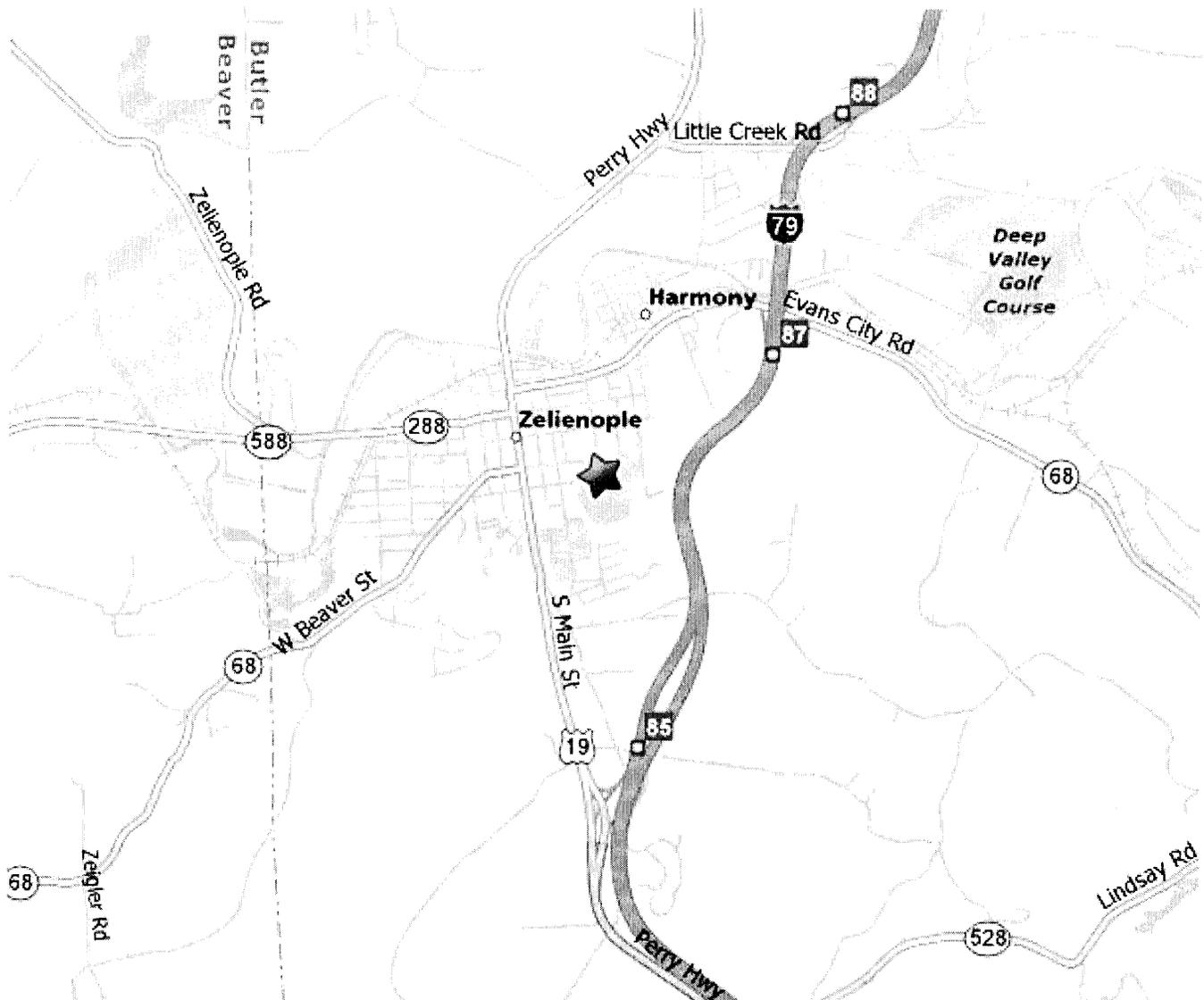
Zelienople Community Park Master Plan and Pool Feasibility Study

Dear Resident of the Zelienople Area,

You can help us shape the future of recreational development at Zelienople Community Park. Please help by completing this brief questionnaire and returning it in the postage-paid envelope provided.

Your neighbors and local officials are working to develop a plan for future improvements to Zelienople Community Park. **Your input is important!!!** You are one of a small, randomly selected sample of area residents that are being asked to complete this questionnaire, on behalf of yourself and those in your household. It is important that you take the short time to fill out the form and return it as soon as possible. Of course, for your privacy, your responses will be kept strictly confidential.

Thank You!



Your Household

1. Please indicate the number of people in your household in each age group.

1. 0-9 yrs. - 59
2. 10-14 yrs. - 34
3. 15-19 yrs. - 31
4. 20-34 yrs. - 39
5. 35-64 yrs. - 141
6. 65+ yrs. - 23

How old are you? Ages 27 - 90

2. How long have you lived in the Zelienople Area? (circle one)

1. LESS THAN 5 YEARS - 14%
2. 5-10 YEARS - 20%
3. MORE THAN 10 YEARS - 64%

3. In which municipality do you live? (circle one)

1. ZELIENOPLE BOROUGH - 23%
2. HARMONY BOROUGH - 13%
3. JACKSON TOWNSHIP - 36%
4. LANCASTER TOWNSHIP - 23%

4. What is your household income? (this data is important when applying for grant funding from certain federal and state agencies)

- 1% - Up to \$14,999
3% - \$15,000 - \$24,999
10% - \$25,000 - \$49,999
18% - \$50,000 - \$74,999
57% - \$75,000 or more

Recreation Activities

5. Which public swimming pool(s) do you use? (circle all that apply)

1. Zelienople - 50%
2. Cranberry - 27%
3. Evans City - 3%
4. Alameda Park Pool (Butler Twp.) - 2%
5. Other - 13%

6. How often did you swim at a public pool in the past year? (circle one)

1. 0 times - 41%
2. <5 times - 28%
3. 5-15 times - 19%
4. >15 times - 8%

7. Where do you go to rent a picnic shelter? (circle all that apply)

1. Zelienople Community Park - 23%
2. Moraine State Park - 13%
3. McConnells Mill State Park - 2%
4. North Park (Allegheny County) - 10%
5. Alameda Park (Butler County) - 2%
6. OTHER - 3%

8. How often have you rented a picnic shelter? (circle one)

1. 0 times - 57%
2. <5 times - 36%
3. 5-15 times - 3%
4. >15 times - 1%

9. Where do you go to play tennis locally? (circle all that apply)

1. Zelienople Community Park - 25%
2. Alameda Park - 0%
3. Cranberry Public Parks - 10%
4. Butler City Parks - 0%
5. Local School Facilities - 9%
6. Other - 3%

10. How often have you played tennis in the past 12 months? (circle one)

1. 0 times - 62%
2. <5 times - 21%
3. 5-15 times - 5%
4. >15 times - 2%

11. Where do you or household members go to use playground facilities locally?

1. Zelienople Community Park - 61%
2. Alameda Park - 59%
3. Cranberry Public Parks - 32%
4. Butler City Parks - 1%
5. Other - 9%

12. How often have you or a household member used playground facilities in the past 12 months? (circle one)

1. 0 times - 34%
2. <5 times - 27%
3. 5-15 times - 20%
4. >15 times - 16%

13. Where do you go locally for casual play such as Frisbee, pick-up football games, informal picnics, etc.?

1. Zelenople Community Park - 40%
2. Alameda Park - 3%
3. Cranberry Public Parks - 19%
4. Butler City Parks - 1%
5. Other - 23%

14. How often have you engaged in such activities in the past 12 months?

1. 0 times - 28%
2. <5 times - 38%
3. 5-15 times - 19%
4. >15 times - 12%

15. Where do you go locally to use trails for hiking or biking?

1. Zelenople Community Park - 27%
2. Alameda Park - 1%
3. North Park - 12%
4. Moraine State Park - 49%
5. McConnells Mill State Park - 28%
6. Other - 11%

16. How often have you used trails for hiking or biking in the last 12 months?

1. 0 times - 28%
2. <5 times - 33%
3. 5-15 times - 21%
4. >15 times - 14%

17. Are you aware of Zelenople Community Park?

1. YES - 92%
2. NO - 6%

18. Have you visited Zelenople Community Park to use the facilities in the past 12 months?

1. YES - 76%
2. NO - 22%

For those who have visited Zelenople Community Park...

What do you like about the Park?

What do you dislike about the Park?

19. What types of additional activities or programs do you think should be offered at Zelenople Community Park? (circle all that apply)

1. Expanded Tennis Opportunities - 25
2. Bocce - 30
3. Additional Picnic Opportunities - 38
4. Sledding - 71
5. Expanded Hiking or Walking Opportunities - 90
6. More Concerts, etc. during Horse Trader Days or other Festivals - 75
7. Additional Small Festivals / Concerts - 75
8. Amphitheatre setting for small shows - 60
9. Children's Play - 44
10. Off-leash Dog Areas (Dog Park) - 44
11. Skateboarding / Rollerblading / BMX Trick Biking - 30
12. Other - 16

Facilities

20. What types of new facilities or improvements to existing facilities do you think should be developed in the Park?

1. Tennis Courts - 25
2. Bocce Courts - 30
3. Picnic Pavilions - 44
4. Sledding Hill - 76
5. Hiking or Walking Trails (Expansion of existing) - 86
6. Additional Parking Facilities - 26
7. Swimming Pool Renovations - 73
8. Amphitheatre setting for small shows - 47
9. Playgrounds - 45
10. Dog Park - 42
11. Basketball Courts - 33
12. Skate Park - 28
13. Other - 9

21. When are you most likely to use this park? (circle all that apply)

- 1. FALL - 48% 1.WEEKENDS -67%
- 2. WINTER - 14% 2.WEEKDAYS -49%
- 3. SPRING - 57%
- 4. SUMMER - 84%

22. Which of the following features do you like about the pool? (circle all that apply)

- 1. Location - 98
- 2. Size of the pool- 49
- 3. Daily admission rate - 31
- 4. Season Pass cost - 19
- 5. Cleanliness - 42
- 6. Swimming Lessons - 18
- 7. Hours of operation - 25
- 8. Kiddie pool - 24
- 9. Staff - 37
- 10. Water quality - 22
- 11. Programs offered - 7
- 12. Atmosphere - 28
- 13. Concession Stand - 28
- 14. Kiddie Pool - 9
- 15. Lounge Chairs - 30
- 16. Slides - 19
- 17. Other - 5

23. What keeps you from using the pool? (circle all that apply)

- 1. Too far from home - 3
- 2. Fees are too high - 19
- 3. Not enough shade - 20
- 4. Too crowded - 15
- 5. Water is too cold - 29
- 6. Don't know where it is - 4
- 7. Hours of operation - 9
- 8. Too many rules - 1
- 9. Not enough parking - 1
- 10. Poor supervision - 1
- 11. No transportation - 0
- 12. Have my own pool - 23
- 13. Use a neighbor's pool - 21
- 14. Other - 38

24. What features should be added or expanded at the pool? (circle all that apply)

- 1. Tables with umbrellas - 70
- 2. Large waterslide - 50
- 3. Water play equipment in the main pool - 27

- 4. Water play equipment in the kiddie pool - 30
- 5. Gradual sloped entry - 45
- 6. Warm water - 60
- 7. Pavilion/picnic areas - 30
- 8. Splash and play area out of the water - 32
- 9. Shade - 51
- 10. Aquatic programs - 28
- 11. Other - 7

Funding

25. What is your opinion on the current charges to use the swimming pool facility at the Park?

- 1. They are too high - 12%
- 2. They are fair prices - 80%
- 3. They could be increased slightly - 6%

Provide any other comments regarding the current charges for swimming pool use _____

26. Zelenople Borough is currently the only municipality providing tax dollars to support the park. In your opinion, should additional funding for the park be provided by other local municipalities whose residents use the park?

- 1. YES - 73% 2. NO - 16%

27. Would you be willing to make a personal contribution (in addition to pool membership fees) to assist with upgrades to the park or pool?

- 1. YES - 41% 2. NO - 42%

If yes, how much?
31 - \$25 18 - \$50 13 - \$100

1 - \$250 1 - \$500 or more

28. Please feel free to provide any additional comments regarding Zelenople Community Park below.



APPENDIX D:

Funding Resources

FUNDING RESOURCES

Several agencies provide grants to assist in providing financial resources to implement design and construction of recreation facilities. Some offer grants to implement educational or recreational programs in concert with these facilities. Still others support the planning and implementation of projects with preservation of wildlife habitat. Assistance can also be acquired in the form of technical help, information exchange, and training.

Given the competition for grant funding, submission of a thorough application is required. Strategies for improving the chances of receiving a grant include:

- ⇒ Being well-prepared by knowing the funding agency (contact persons, addresses, phone numbers); ensuring your organization or municipality and the project are eligible; and submitting a complete and accurate application ahead of the specified deadline.
- ⇒ Clearly indicating the funding agency's vision and plans in the application, to portray how your project furthers their goals. Describe how matching funds such as private contributions and other grants will leverage the available funding. Describe how maintenance of the site will be accomplished to help justify the request for a grant award. Show past successes such as how past recreation or planning projects were funded and built, and how this project will follow those successes.
- ⇒ Contacting the funding agencies by personally meeting with them to show your commitment to the project.

Any potential grantee should explore all potential funding sources and apply for funding as often as possible. An application that is rejected one year may still be accepted in future years.

The following is a list of known potential funding sources as previously listed, along with descriptions and program requirements, and contact information:

❖ ***Pennsylvania Heritage Areas Program (PHAP):***

Agency: Department of Conservation and Natural Resources (DCNR)

Program Goals: There are five primary goals of the PHAP - economic development, partnerships, cultural conservation, recreation and open space, and education and interpretation.

Use of Funds: PHAP funds can be used for six types of projects.

A Feasibility Study, the initial step of the heritage area planning process, provides the information for DCNR and the Commonwealth Partners to determine if a region has the resources, public and private support, intergovernmental interagency cooperation, and the local commitment and leadership capability to develop and maintain a heritage area initiative for the area.

A Management Action Plan is a comprehensive study and process that will define a long-range (10 year) plan of action to organize, implement, manage and market the heritage area concept in the region.

A Special Purpose Study is a more concentrated study or plan necessary to implement one or more of the recommendations of an approved Management Action Plan or which support the Heritage Area.

Implementation Projects are non-planning projects that implement recommendations of the Management Action Plan and Special Purpose Studies.

Early Implementation Projects are implementation-type projects that are undertaken within State Heritage Area Planning Areas in conjunction with the Management Action Plan process.

Management Grants fund those eligible expenses related to the administration and management of officially designated state heritage areas.

Contact: DCNR Regional Recreation and Parks Adviser

Website: www.dcnr.state.pa.us



❖ **21st Century Community Learning Centers Program:**

Agency: U.S. Department of Agriculture

Program Goals: This program was authorized by Congress to award grants to rural and inner-city public schools, or consortia of such schools, to plan, implement, or expand projects that address the education, health, social services, cultural, and recreational needs of the community.

Program Restrictions: School Districts must collaborate with an outside entity, such as another public agency or non-profit organization

Use of Funds or Support: Applications must address four of the following program activities: literacy education programs; senior citizen programs; children's day care services; integrated education; health, social service, recreational or cultural programs; summer and weekend school programs in conjunction with recreation programs; nutrition and health programs; expanded library service hours to serve community needs; telecommunications and technology education programs for individuals of all ages; parenting skills education programs; support and training for child day care providers; employment counseling, training, and placement; services for individuals who leave before graduating from secondary school, regardless of age of such individual; services for individuals with disabilities.

Contact: 21st Century Community Learning Centers, Attn: CFDA 84.287, U.S. Department of Education Application Control Center, Regional Office Building 3, Room 36337th & D Streets, SW, Washington, DC 20202-4725

Phone: 1-800-USA-LEARN

Website: www.ed.gov/21stccclc



❖ **America's Treeways**

Agency: National Tree Trust

Program Goals: This program provides tree seedlings for planting on roadsides, highways, or land under the jurisdiction of any federal, state, municipal, or transportation authority.

Program Restrictions: Limitations include a minimum of 100 trees to a maximum of 10,000 trees. All trees delivered must be planted, and only volunteers may do the planting. The trees must be planted on public property.

Use of Funds or Support: Monetary grants are provided to local tree-planting organizations that support volunteer planting and education efforts throughout the United States.

Address: Todd Nelson, 1120 G Street, Suite 770, Washington, DC 20005

Phone: 1-800-846-8733

Website: <http://www.nationaltreetrust.org>



PLANTING AMERICA'S FUTURE

❖ **Community Conservation Partnerships Programs (C2P2)**

Agency: Department of Conservation and Natural Resources (DCNR)

Program Goals: To develop and sustain partnerships with communities, non-profits and other organizations for recreation and conservation projects and purposes. The Bureau of Recreation and Conservation is responsible for fostering, facilitating and nurturing the great majority of these partnerships through technical assistance and grant funding from the Community Conservation Partnerships Programs.

Program Restrictions: See DCNR grant application manual for the Community Conservation Partnerships Program, as program restrictions vary by type.

Use of Funds:

1) Planning and Technical Assistance: Comprehensive Recreation, Park, and Open Space Plans; County



Natural Area Inventories; Feasibility Studies; Greenways and Trails Plans; Rails-to-Trails Plans; Master Site Plans; River Conservation Plans; Education and Training; Peer-to-Peer Consultation and Circuit Riders (temporary employment of a full-time Park and Recreation Practitioner);
2) Acquisition Projects: Park and Recreation Areas; Greenways, Trails, and Rivers Conservation; Rails-to-Trails; Natural and Critical Habitat Areas;
3) Development Projects: Park and Recreation Areas; Park Rehabilitation and Development; Small Community Development; Greenways and Trails; Rails-to-Trails; Rivers Conservation; Federally Funded Projects; Lands and Water Conservation Fund (LWCF) Projects; Pennsylvania Recreational Trails
Contact: Kathy Frankel, PA DCNR, Southwest Field Office, 1405 State Office Building, 300 Liberty Avenue, Pittsburgh, PA 15222
Phone: (412) 565-7803
Website: <http://www.dcnr.state.pa.us>

❖ ***Community Development Block Grants (CDBG)***

Agency: U.S. Department of Housing and Urban Development
Program Goals: To provide a flexible source of annual grant funds for local governments nationwide: funds that they, with the participation of local citizens, can devote to the activities that best serve their own particular development priorities, provided that these projects either 1) benefit low and moderate income persons; 2) prevent or eliminate slums or blight; or 3) meet other urgent community development needs.
Program Restrictions: Low and moderate income persons (generally defined as members of a family earning no more than 80% of the area's median income) benefit most directly and most often from CDBG funds for activities that principally benefit low and moderate income persons.
Use of Funds or Support: Building public facilities and improvements, such as streets, sidewalks, sewers, water systems, community and senior citizen centers, and recreational facilities. There are other possible uses of funds that do not relate to parks and recreation.
Contact: Westmoreland County, Department of Planning and Development, 2 North Main Street, Suite 601, Greensburg, PA 15601
Phone: (724) 830-3614 (William E. Mitchell II) or (724) 830-3650 (Bert Getto)

❖ ***Community Improvement Grants***

Agency: Pennsylvania Urban and Community Forestry Department
Program Goals: Focus is to support "greening" partnerships linking grassroots organizations, local community groups, and natural resource experts in support of community resource and natural resource management.
Use of Funds or Support: Encourages partnerships with and between diverse organizations and groups. Supports local improvement projects, tree planting projects in parks, greenbelts, schools, and community public spaces.
Contact: Penn State College of Agricultural Sciences, Cooperative Extension in Westmoreland County Donohoe Center, R.R. 12, Box 202E, Donohoe Road, Greensburg, PA 15601
Phone: (724) 837-1402
Fax: (724) 837-7613
Email: WestmorelandExt@psu.edu
Website: <http://westmoreland.extension.psu.edu>

❖ ***Conservation Reserve Program (CRP)***

Agency: Natural Resources Conservation Service
Program Goals: Designed to reduce erosion on sensitive lands, CRP also improves soil and water, and provides significant wildlife habitat.
Program Restrictions: Applications are for 10 and 15 year contracts.
Use of Funds or Support: The CRP offers annual rental payments, incentive payments for certain activities, and cost-share assistance to establish approved groundcover on eligible cropland.
Contact Info.: RR#12, Box 202 C, Greensburg, PA 15601-9271



Phone: (724) 834-9063 ext. 3 Fax: (724) 837-4127
Website: www.pa.nrcs.usda.gov/programs/

❖ ***Kodak American Greenways Awards Program***

Agency: The Conservation Fund and Eastman Kodak Company

Program Goals: Provide seed money to stimulate greenway planning and design. Supports pioneering work in linking the nation's natural areas, historic sites, parks, and open space.

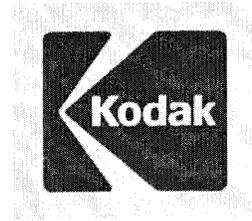
Program Restrictions: Grant recipients are selected according to criteria that include: importance of the project to local greenway development efforts; demonstrated community support for the project; extent to which the grant will result in matching funds or other support from public or private sources; likelihood of tangible results; capacity of the organization to complete the project.

Use of Funds or Support: Planning, Implementation

Contact: Leigh Anne McDonald, American Greenways Coordinator, The Conservation Fund, 1800 North Kent Street, Suite 1120, Arlington, VA 22209

Phone: (703) 525-6300

Email: lmcdonald@conservationfund.org



❖ ***Land and Water Conservation Fund (LWCF) Grants***

Agency: LWCF

Program Goals: To provide park and recreation opportunities to residents throughout the United States, to allow communities to acquire and build a variety of park and recreation facilities, including trails. Funds are annually distributed by the National Park Service through the Pennsylvania Department of Conservation and Natural Resources (DCNR).

Program Restrictions: Communities must match LWCF grants with 50% of the local project costs through in-kind services or cash. All projects funded by the LWCF grants must be exclusively for recreation purposes, into perpetuity. Grants are administered through the DCNR Community Conservation Partnerships Program (C2P2).

Use of Funds or Support: Planning and investment in an existing park system.

Contact Info.: U.S. Department of the Interior, National Park Service, Recreation Programs Room, MIB-MS 3622, 1849 C Street NW, Washington, DC 20240

Phone: (202) 565-1200

Website: <http://www.nrcs.nps.gov/lwcf/>



❖ ***National Recreational Trails Fund Act (NRTFA)***

Agency: PA Department of Conservation and Natural Resources (DCNR) - administered through the Community Conservation Partnerships Program (C2P2)

Program Goals: The recreational trails program provides funds to develop and maintain recreational trails for motorized and non-motorized recreational trail use. The program funding represents a portion of the revenue received by the Federal Highway Trust Fund from the federal motor fuel excise tax paid by users of off-road recreational vehicles.

Program Restrictions: A component of TEA21, matching requirements for the Pennsylvania Recreational Trails Program Grants are 80% federal money, up to a maximum of \$150,000, and 20% non-federal money. However, acquisition projects will require a 50/50 match. "Soft match" is permitted from any project sponsor, whether private or public money. ("Soft match" includes credit for donations of funds, materials, services, or new right-of-way).

Use of Funds or Support: The department must distribute funding among motorized, non-motorized, and diverse trail use as follows: 40% minimum for diverse trail use, 30% minimum for non-motorized



recreation, and 30% minimum for motorized recreation. The Commonwealth may also use up to 5% of its funds for the operation of educational programs to promote safety and environmental protection related to the use of recreational trails. The department will also consider projects that provide for the redesign, reconstruction, non-routine maintenance, or relocation of recreational trails to benefit the natural environment.

Contact: Kathy Frankel, PA DCNR, Southwest Regional Field Office, 1405 State Office Building, 300 Liberty Avenue, Pittsburgh, PA 15222

Phone: (412) 565-7803

Website: <http://www.dcnr.state.pa.us>

❖ ***Pennsylvania Conservation Corps***

Agency: Pennsylvania Department of Labor and Industry

Program Goals: This program provides work experience, job training, and educational opportunities to young adults while accomplishing conservation, recreation, historic preservation, and urban revitalization work on public lands.

Program Restrictions: The project sponsors receive the services of a Pennsylvania Conservation Corps crew, fully paid, for one year. Sponsors can also receive up to \$20,000 for needed materials and contracted services. Sponsors must provide a 25% cash match on material and contracted services costs.

Use of Funds or Support: Funds may be used for materials and contracted services needed to complete approved projects.

Contact: Lou Scott, Director, 1304 Labor and Industry Building, 7th and Forester Streets, Harrisburg, PA 17120

Phone: (717) 783-6385

Website: <http://www.dli.state.pa.us>



❖ ***Surface Transportation Program (STP) Funds***

Agency: Department of Transportation (PennDOT), Federal Highway Administration (FHWA)

Program Goals: These funds can be used for bicycle and pedestrian facility construction or non-construction projects such as brochures, public service announcements, and route maps. The projects related to bicycle and pedestrian transportation must be a part of the long-range transportation plan. These funds are controlled by the Metropolitan Planning Organization (MPO) in the Transportation Improvement Program.

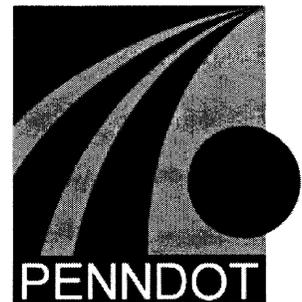
Program Restrictions: Expands STP eligibilities to specifically include the following [1108(a)]: sodium acetate / formate, or other environmentally-acceptable, minimally corrosive anti-icing and de-icing compositions; programs to reduce extreme cold starts; environmental restoration and pollution abatement projects; including retrofit or construction of stormwater treatment facilities (limited to 20% of total cost of 3R-type transportation projects); natural habitat mitigation, but specifies that if wetland or natural habitat mitigation is within the service area of a mitigation bank, preference will be given to use the bank; privately owned vehicles and facilities that are used to provide inter-city passenger service by bus; modifications of existing public sidewalks (regardless of whether the sidewalk is on a Federal-aid highway right-of-way), to comply with the requirements of the Americans with Disabilities Act; infrastructure based intelligent transportation system capital improvements.

Use of Funds or Support: Transportation, planning, railroad crossing improvements.

Contact Information: 825 North Gallatin Avenue Extension, Uniontown, PA 15401-210545

Phone: (724) 439-7315

Website: www.dot.state.pa.us



❖ ***Transportation Equity Act for the 21st Century (TEA21)***

Agency: TEA21 / ISTE A

Program Goals: The primary source of federal funding for greenways and trails is through the Transportation Equity Act of 1998 (TEA21), formerly the Intermodal Surface Transportation Efficiency Act (ISTEA). ISTEA provided millions of dollars in funding for bicycle and pedestrian transportation projects across the country and will provide millions more as TEA21. There are many sections of TEA21 that support the development of bicycle and pedestrian corridors. The Pennsylvania Department of Transportation (PennDOT) can utilize funding from any of these subsets of TEA21 and should be contacted for further details.

Use of Funds or Support: Safety and Transportation Enhancements

Contact: Southwestern Pennsylvania Commission

Phone: (412) 391-5590

Website: (Federal Highway Administration) <http://www.fhwa.dot.gov/tea21/>

❖ ***Wal-Mart - Good Works***

Agency: Wal-Mart Foundation

Program Goals: Allows local non-profit organizations to hold fundraisers at their local Wal-Mart or Sam's Club. Wal-Mart and Sam's Club can elect to match a portion of the funds collected, up to \$1,000. Events held on the premises are eligible for funding when a Wal-Mart or Sam's Club Associate is actively involved in the event. Additionally, once the Wal-Mart or Sam's Club Associate has met certain criteria in the Matching Grant Program each year, a second source of funding is awarded to the store / club to use in the community. These funds do not require a fundraiser to be held; instead the funds can be awarded directly to a deserving organization.

Program Restrictions: Organizations that may qualify to receive funding through the Matching Grant Program are 501(c)(3) non-profit organizations or organizations that are exempt from needing 501(c)(3) status, such as public schools, faith-based institutions such as churches (must be conducting a project that benefits the community at large), and government agencies.

Use of Funds or Support: Community Improvement Projects.

Contact: Community Involvement Coordinator at your local Wal-Mart or Sam's Club store.

Website: www.walmartfoundation.org/wmstore/goodworks

❖ ***Lowe's Charitable and Educational Foundation***

Program Goals: Education. Community improvement projects such as projects at parks and other public areas, housing for underprivileged citizens, and innovative environmental issues.

Program Restrictions: Organizations that may qualify to receive funding through the Matching Grant Program are 501(c)(3) non-profit organizations.

Contact: The Foundation only accepts grant applications submitted online through the website.

Website: <http://www.easy2.com/cm/lowe/foundation/intro.asp>

❖ ***Baseball Tomorrow Fund***

Agency: Major League Baseball and Major League Baseball Players Association

Program Goals: To promote and enhance the growth of baseball in the US, Canada and throughout the world by funding programs, fields, and equipment purchases, designed to encourage and maintain youth participation in the game.

Program Restrictions:

- To finance administrative staff salaries, office overhead and other recurring operating costs (office supplies, office equipment, and computer equipment purchase or repair)
- To fund construction of permanent structures and/or capital investments other than baseball construction or refurbishing
- To pay for membership dues, bank charges or audit expenses
- To cover other third part overhead costs

Use of Funds or Support: Grants from the Baseball Tomorrow Fund are designed to be sufficiently flexible to enable applicants to address needs unique their communities. The funds may be used to finance a new program, expand or improve an existing program, undertake a new collaborative effort, or obtain facilities or equipment necessary for youth baseball or softball programs.

Contact: Baseball Tomorrow Fund, 245 Park Avenue, New York, NY 10167
Phone: 212-931-7991 or email BTF@majorleaguebaseball.com
Website: www.majorleaguebaseball.sportsline.com/u/baseball/mlbcom/headquarters/btf.html

❖ ***Pennsylvania Urban and Community Forestry Program***

Agency: Pennsylvania Department of Conservation and Natural Resources (DCNR)



Program Goals: The three grant programs -- the Municipal Challenge Grant Program, the Community Improvement Grant Program, and the Tree Maintenance Grant Program -- are designed to foster community improvement through the planting and maintenance of trees.

Program Restrictions: These matching grant programs carry funding restrictions based on population. Municipalities may receive between \$1,000 and \$5,000 per season. Volunteer and community groups may receive between \$1,000 and \$3,000 per season. The trees must be planted on public or school property. Applicants must reapply for these funds

Use of Funds or Support: The funds may be used for planting and maintaining trees

Contact: Karli Suders, Urban Forestry Coordinator, DCNR, Forestry, Rural and Community Forestry, P.O. Box 8552, Harrisburg PA 17105-8552

Phone: 717-705-2825

Website: <http://www.dcnr.state.pa.us>

❖ ***Resource Conservation and Development Councils (RC&Ds)***

Agency: Natural Resources Conservation Service



Program Goals: Improve the local economy and environments.

Program Restrictions: RC&Ds are local representatives of citizens, county and local government, and other interested organizations who work together to improve and sustain the natural and economic resources of rural communities through plans which are facilitated by coordinators.

Use of Funds or Support: Businesses are developed, recreation areas are improved or developed, markets are developed, for local products, value is added to existing products, and resources management is accomplished through efforts to improve the local economy and environments.

Contact: RR#12, Box 202 C, Greensburg, PA 15601-9271

Phone: 724-834-9063 ext. 3

Website: www.pa.nrcs.usda.gov/programshom.htm

❖ ***Single Application Grants***

Agency: Pennsylvania Center for Local Government Services, Department of Community and Economic Development



Program Goals: Through one application form, applicants can apply for financial assistance from the Department's various funding sources.

Program Restrictions: Applications can be submitted to request 100% of funding for the proposed project. However, applications that can show some match in the form of dollars or services are more likely to be successfully awarded. Funds are allocated to this program annually and are distributed quarterly. Applications can be submitted at any time.

Use of Funds or Support: This program funds a wide variety of municipal projects, including recreational facility improvements and development.

Contact: Commonwealth of Pennsylvania, 325 Forum Building, Harrisburg, PA 17120

Phone: 717-787-8169 or 1-888-223-6837

Website: <http://www.inventpa.com>

❖ ***Pennsylvania Safe Routes to Schools Program (SRTS)***

Agency: SRTS is a Federal program administered in Pennsylvania through the Pennsylvania Department of Transportation (PennDOT)

Program Goals: This program seeks to enable and encourage children in kindergarten through eighth grades (K-8) to walk or bicycle to school, thereby promoting increased physical activity.

Program Requirements:

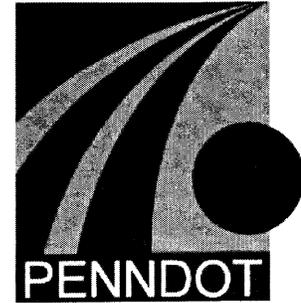
- This is not a grant program
- This is a federal cost reimbursement program; no funding is provided upfront
- Projects are 100% federally-funded and do not require a local match
- All projects phases are eligible for funding, but only after the project has been approved by PennDOT and the Federal Highways Administration (FHWA)
- All Federal Aid Highway (NEPA, competitive bidding, Davis Bacon prevailing wage rates, etc.) requirements must be followed

Use of Funds: Eligible projects generally include physical improvements that enhance student safety and/or promote walking and bicycling to school. Eligible projects would include (but are not limited to) sidewalks, crossing improvements, traffic calming measures, signs, signals, bike storage facilities, and other similar features.

Contact: PA Safe Routes to School Coordinator, PennDOT Program Center

Phone: 717-787-8065

Website: www.dot.state.pa.us



❖ ***Tony Hawk Foundation Grants***

Agency: Tony Hawk Foundation

Program Goals: The primary mission of the Tony Hawk Foundation is to promote high-quality, public skateparks in low-income areas throughout the United States.

Program Requirements: Applicants must be a 501(C)(3) non-profit organization, a state or local agency, municipality, or public school in a community with an average household income of \$50,000 or less. Applicants must have pre-organized fundraising goals and a preliminary skate park design completed before applying. Proposed skate park must be free to the general public and open during daylight hours 365 days a year. The Foundation may provide grant funding, as well as technical assistance on design and construction, promotional and training materials, and safety information.

Use of Funds: Grants (\$1,000 to \$25,000) fund *construction* of skate park equipment in skateparks that ...

- are designed and built by qualified and experienced skatepark contractors.
- include local skaters in the design process.
- are in low-income areas, and/or areas with a high population of “at-risk” youth.
- can demonstrate a strong grassroots commitment to the project, particularly in the form of fundraising by local skateboarders and other community groups.
- have a creative mix of street obstacles (rails, funboxes, launch ramps, etc..) and transition/vert terrain (quarterpipes, bowls, snake runs, halfpipes, etc..).
- don’t require skaters or their parents to sign waivers.
- encourage skaters to look after their own safety and the safety of others without restricting their access to the park or over-regulating their use of it.



- are open during daylight hours, 365 days a year.
- don't charge an entrance fee.
- are in areas that currently have no skateboarding facilities.

Contact: Tony Hawk Foundation, 1611-A South Melrose Drive #360, Vista, CA 92081

Phone: 760-477-2479

Website: www.tonyhawkfoundation.org

❖ ***KaBOOM! Community Partner Funds***

Agency: KaBOOM!

Program Goals: Bringing Community Partners (organizations with an interest in community recreation, specifically playgrounds) together with funding from Corporate Partners (grant funding partners)



Program Requirements: Each Community Partner for KaBOOM! projects must have access to a good location for a playground and bring the energy and enthusiasm needed to plan, fundraise, and actually build the playground. Ideal community partner candidates (non-profit organizations):

- Are able to raise and contribute up to \$10,000 cash towards the cost of equipment;
- Serve children from low-income or disadvantaged backgrounds;
- Provide land for the playground (at least a 50-foot by 50-foot space is ideal);
- Agree to insure and maintain the playground for the lifetime of the playspace;
- Provide food, water and restroom facilities for the volunteers on Build Day;
- Recruit 15 parent, community and staff volunteers to participate in planning committees;
- Recruit 50 to 100 parents and community volunteers to help build the playspace in one day; and
- Demonstrate enthusiasm, excitement and commitment to planning a community revitalization project

Use of Funds: Playground planning and design, construction (via community-build programs), and technical assistance with a maintenance plan

Contact: KaBOOM!, 4455 Connecticut Ave. NW, Suite, B100,
Washington, D.C. 20008

Phone: 202-659-0215

Website: <http://kaboom.org>



APPENDIX E:

Park Lease Agreement

Seneca Valley School District

PHONE (412) 452-6040 OR 776-3100

Gerald J. Malecki, Ed.D.
Superintendent

Administration Center
725 West New Castle Street
Zelienople, PA 16063-1027



AGREEMENT

The Seneca Valley School Board will lease, at no cost, what is commonly referred to as the old Zelienople High School athletic field including fence and lights to the Zelienople Park Association for a period of five (5) years from March 15, 1993. This agreement is bound by the following conditions:

1. The Park Association will maintain and keep the field in a presentable condition.
2. The field will be used under the direction of the Park Association in such manner that it would retain its value to the School Board at a later date. This would prohibit permanent structures and alteration of the contours of the field.
3. Revenue derived from the use of the field would be for the benefit of the Park Association.
4. This agreement may be renewed on a five (5) year basis. If at any time this is not agreeable to either party, six months notice must be given in writing to the other party. It is understood by the School Board that equipment or structures now on the field will not last forever and it may be in the best interest of the Park Association to remove items currently on the field. If this should occur, the disposition of these items would be by common agreement of both parties.
5. This agreement is for the common good of the residents of this area. If at any time a disagreement should arise during the term of this lease as to the use of the field and cannot be resolved, it would be submitted to a Board of Arbitration whose decision would be in final. The Board of Arbitration would be composed of two members of the Park Association, two members of the School Board and three persons selected by common agreement.

Original Agreement Date: January 1, 1966
Agreement Dates: March 15, 1993-February 1998

MG Kammerer
Seneca Valley School District School Board

3-25-93

Date

J. M. Barano
COMMUNITY Zelienople Park Association

3/21/93

Date

APPENDIX F:

Park Neighbor Agreement for Open Space

THE MURRAY AGENCY, INC.,

REALTORS®



May 29, 1996

RELOCATION CENTER

10850 Perry Highway
Wexford, PA 15090-9248
412-935-9229

ADMINISTRATION

223 South Main Street
P. O. Box 249
Zelienople, PA 16063-0249
412-452-4000

WEXFORD BRANCH

10850 Perry Highway
Wexford, PA 15090-9248
412-935-3726

CRANBERRY TWP. BRANCH

20232 Perry Highway
Cranberry Twp., PA 16066
412-776-4600

ZELIENOPE BRANCH

223 South Main Street
P. O. Box 249
Zelienople, PA 16063-0249
412-452-4000

APPRAISAL DEPARTMENT

223 South Main Street
P. O. Box 249
Zelienople, PA 16063-0249
412-452-4000

PROPERTY MANAGEMENT

223 South Main Street
P. O. Box 249
Zelienople, PA 16063-0249
412-452-4000

TRAINING CENTER

10850 Perry Highway
Wexford, PA 15090-9248
412-935-3726

COMMERCIAL-INVESTMENT

10850 Perry Highway
Wexford, PA 15090-9248
412-935-3726

CAREER DEVELOPMENT

10850 Perry Highway
Wexford, PA 15090-9248
412-935-3726

Bryan Branby, President
Community Park Association
Box 402
Zelienople, PA 16063

Thomas Schneider
Zelienople Athletic Association
PO Box 184
Zelienople, PA 16063

Dear Bryan & Tom:

I would like to put in writing my commitment to the Community Park Association and the Athletic Association in regards to the development of the two new fields located at the North East sector of the park.

I am willing to donate to the 2 associations 50% of the cost of this project over a 3 year period. Our initial projections show it should cost between \$25,000 and \$30,000. I will provide up to \$5,000 per year in cash and the Athletic Association can raise funds for the balance, or solicit contribution of materials and services.

The project, as planned, will provide a wonderful new facility for our young people; and, the facility will be a better use of previously undeveloped property.

I think the Park Board is in general agreement that a long range plan for the park should provide for all ages of people and all typed of potential uses of the park land. I hope that future planning for balance of the land in this area will keep this goal in mind.

My commitment is contingent on several conditions. I do not think your board will find them to be unreasonable.

1. That the final result will be very visually pleasant.
2. That I, or a member of my family, be permitted to work with the committee to provide our input on the project.



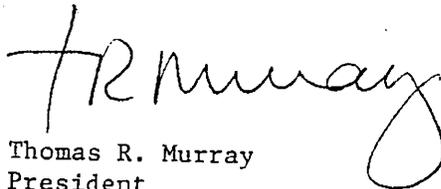
Thomas Schneider
May 29, 1996
2nd page

3. That the grassy area, between the newest field and Pittsburgh Street, be retained as a grassy open area and will not be converted to parking or for a storage or refreshment building.
4. That all construction be done in a professional manner, so that all backstops and fencing will have a quality appearance.
5. That there will be no overhead wires to poles.
6. That the trail system, as it presently exists, will not be restricted, and that any future development of this area provide for these trails.
7. That I be permitted to install a small bronze plaque as a memorial to my father, Thomas R. Murray Sr., some place in the vicinity of the new project.

I think that the committee has done a fine job with planning to date; and, I feel that they are committed to the same kind of quality facility that I have also envisioned. I know that the Park Board is committed to keeping the park as visually pleasing as possible; so, I feel that the goals that I have mentioned are completely in line with everyone's idea of a picturesque, but useful park facility.

I hope we can all work together, now, and in the long term future, for an even better Community Park.

Sincerely,


Thomas R. Murray
President

TRM/jd

APPENDIX G:

PNDI Environmental Review Receipt

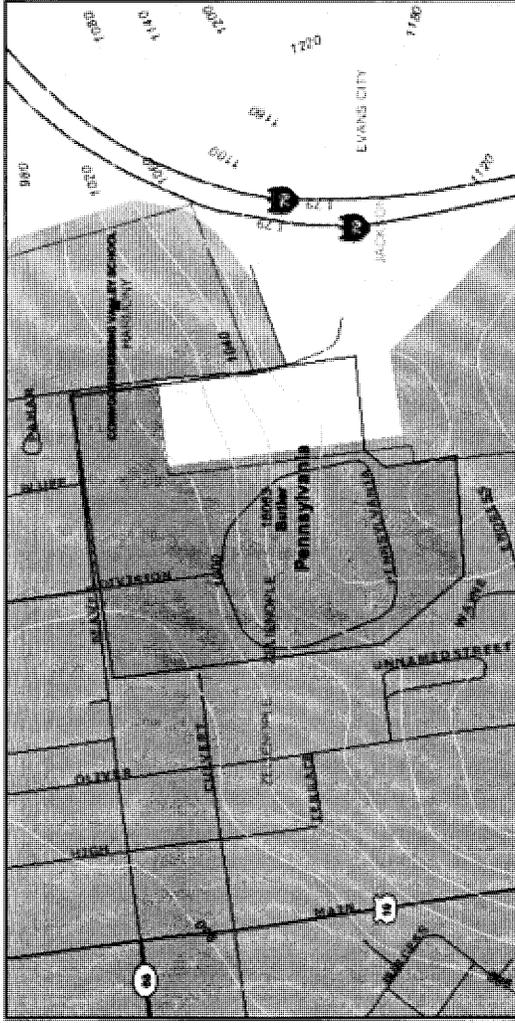
PNDI Project Environmental Review Receipt

Project Search ID: 20080804153455

Project Name: Zelienville Park

Date: 8/4/2008 1:54:54 PM

Project Location



Project Name: Zelienville Park

On Behalf Of: Self

Project Search ID: 20080804153455

Date: 8/4/2008 1:54:26 PM

of Potential Impacts: 1

Jurisdictional Agency:

Pennsylvania Department of Conservation and Natural Resources

Project Category: Recreation, Campgrounds/parking lots, playgrounds

Project Location

Decimal Degrees: 40.79353 N, -80.12794 W

Degrees Minutes Seconds: 40° 47' 36.7" N, 80° 7' 40.6" W

Lambert: -589643.29823742, 659778.92057352 ft

ZIP Code: 16063

County: Butler

Township/Municipality: ZELIENOPLE, HARMONY, JACKSON

USGS 7.5 Minute Quadrangle ID: 624

Quadrangle Name: ZELIENOPLE

Project Area: 41.2 acres

Location Accuracy

Project locations are assumed to be both precise and accurate for the purposes of environmental review. The creator/owner of the Project Review Receipt is solely responsible for the project location and thus the correctness of the Project Review Receipt content.

1 Potential Impacts

Under the Following Agencies' Jurisdiction:
Pennsylvania Department of Conservation and Natural Resources

PNDI Project Environmental Review Receipt

Project Search ID: 20080804153455
Project Name: Zelenople Park
Date: 8/4/2008 1:54:54 PM

Pennsylvania Natural Diversity Inventory (PNDI) records indicate there are potential impacts on special concern species and resources within the project area. If the project is pursued, the jurisdictional agency/agencies indicated require that the instructions below regarding potential impacts and/or avoidance measures be followed in their entirety.

Q1: "Will the entire project area (including any discharge), plus a 300 foot buffer around the project area, all occur in or on an existing building, parking lot, driveway, road, road shoulder, street, runway, paved area, railroad bed, maintained (periodically mown) lawn, crop agriculture field or maintained orchard?"

Your answer is: **1. Yes**

Please initial here signifying that you have provided the most accurate answer to the question as possible.

APPLICANT INITIALS: _____

AVOIDANCE AND CONSERVATION MEASURES

Pennsylvania Natural Diversity Inventory records indicate there are potential impacts on special concern species and resources within the project area. One or more of these potential impacts may be resolved by following required Avoidance Measures. An Avoidance Measure is an action to be taken or a guideline to be followed during the completion of the project. The intent of an Avoidance Measure is to minimize the impact of the project on ecological resources. Avoidance measures, where indicated, are required by DEP and the jurisdictional agencies in order to avoid further consultation regarding this potential impact.

If the applicant initials this receipt certifying that the avoidance measure will be taken, no contact with the jurisdictional agency is required for that potential impact to be considered resolved. If the applicant cannot certify that the avoidance measure can be carried out, the applicant is required by the jurisdictional agency/agencies to contact the

agency/agencies. The contact information for each agency is located at the end of the receipt.

Conservation measures are activities recommended by the jurisdictional agencies. Conservation measures are encouraged but not required and may be pursued at the discretion of the DEP program based on their knowledge of the project and site. It is not necessary to initial this receipt for conservation measures.

Listed below are Avoidance Measures and/or Conservation Measures generated by this proposed project.

Pennsylvania Department of Conservation and Natural Resources :

"Conservation Measure: Please avoid the introduction of invasive species in order to protect the integrity of nearby plant species of special concern. Voluntary cleaning of equipment/vehicles, using clean fill and mulch, and avoiding planting invasive species (<http://www.dcnr.state.pa.us/forestry/invasivetutorial/index.htm>) will help to conserve sensitive plant habitats. "

To certify that you will carry out the Avoidance Measure listed PLEASE INITIAL HERE : _____ (You do not need to initial for Conservation Measures)

If there are potential impacts listed in the following section, the applicant is required by the jurisdictional agencies to contact each of the listed agencies, regardless of the listed Avoidance and/or Conservation Measures.

These determinations were based on the project-specific information you provided, including the exact project location; the project type, description, and features; and any responses to questions that were generated during this search. If any of the information you provided does not accurately reflect this project, or if project plans change, DEP and the jurisdictional agencies require

PNDI Project Environmental Review Receipt

Project Search ID: 20080804153455

Project Name: Zeligonople Park

Date: 8/4/2008 1:54:54 PM

that another PNDI review be conducted.

This response represents the most up-to-date summary of the PNDI data files and is good for one(1) year from the date of this PNDI Project Environmental Review Receipt.

Based on the project-specific information you provided, no impacts to federally listed, proposed, or candidate species are anticipated. Therefore, no further consultation under the Endangered Species Act (87 Stat. 884, as amended; 16 U.S.C. 1531 *et seq.* is required with the U.S. Fish and Wildlife Service. Because no take of federally listed species is anticipated, none is authorized. For a list of species that could occur in your project area (but have not been documented in PNDI), please see the county lists of threatened, endangered, and candidate species. A field visit or survey may reveal previously undocumented populations of one or more threatened or endangered species with a project area. If it is determined that any federally listed species occur in your project area, the U.S. Fish and Wildlife Service requires that you initiate consultation to identify and resolve any conflicts. This response does not reflect potential Fish and Wildlife Service concerns under the Fish and Wildlife Coordination Act or other authorities.

DISCLAIMER

The PNDI environmental review website is a preliminary environmental screening tool. It is not a substitute for information obtained from a field survey of the project area conducted by a biologist. Such surveys may reveal previously undocumented populations of species of special concern. In addition, the PNDI only contains information about species occurrences that have actually been reported to the Pennsylvania Natural Heritage Program.

TERMS OF USE

Upon signing into the PNDI environmental review website, and as a condition

of using it, you agreed to certain terms of use. These are as follows:

The web site is intended solely for the purpose of screening projects for potential impacts on resources of special concern in accordance with the instructions provided on the web site. Use of the web site for any other purpose or in any other way is prohibited and subject to criminal prosecution under federal and state law, including but not limited to the following: Computer Fraud and Abuse Act of 1986, as amended, 18 U.S.C. Â§ 1030; Pennsylvania Crimes Code, Â§ 4911 (tampering with public records or information), Â§ 7611 (unlawful use of computer and other computer crimes), Â§ 7612 (disruption of service), Â§ 7613 (computer theft), Â§ 7614 (unlawful duplication), and Â§ 7615 (computer trespass).

The PNHP reserves the right at any time and without notice to modify or suspend the web site and to terminate or restrict access to it.

The terms of use may be revised from time to time. By continuing to use the web site after changes to the terms have been posted, the user has agreed to accept such changes.

This review is based on the project information that was entered. The jurisdictional agencies and DEP require that the review be redone if the project area, location, or the type of project changes. If additional information on species of special concern becomes available, this review may be reconsidered by the jurisdictional agency.

PRIVACY and SECURITY

This web site operates on a Commonwealth of Pennsylvania computer system. It maintains a record of each environmental review search result as well as contact information for the project applicant. These records are maintained for internal tracking purposes. Information collected in this application will be made available only to the jurisdictional agencies and to the Department of Environmental Protection, except if required for law enforcement purposesâ€”see paragraph below.

PNDI Project Environmental Review Receipt

Project Search ID: 20080804153455

Project Name: Zelenople Park

Date: 8/4/2008 1:54:54 PM

This system is monitored to ensure proper operation, to verify the functioning of applicable security features, and for other like purposes. Anyone using this system consents to such monitoring and is advised that if such monitoring reveals evidence of possible criminal activity, system personnel may provide the evidence to law enforcement officials. See Terms of Use.

In order for this project to be considered for subsequent review, a signed and initialed copy of this receipt is required by the agency or agencies indicated. DEP requires that a signed and initialed copy of this receipt, along with any required documentation from jurisdictional agencies concerning resolution of potential impacts, be submitted in applications for permits requiring PNDI review. See DEP PNDI policy at www.naturalheritage.state.pa.us or visit the following websites for further information.

Regional Offices

[Http://www.dep.state.pa.us/dep/deputate/fieldops/map.pdf](http://www.dep.state.pa.us/dep/deputate/fieldops/map.pdf)

District Mining Operations

[Http://www.dep.state.pa.us/dep/deputate/minres/Districts/homepage/Default.htm](http://www.dep.state.pa.us/dep/deputate/minres/Districts/homepage/Default.htm)

Oil and Gas Management

[Http://www.dep.state.pa.us/dep/deputate/minres/OILGAS/CustomerNeeds.htm](http://www.dep.state.pa.us/dep/deputate/minres/OILGAS/CustomerNeeds.htm)

Print this Project Review Receipt using your Internet browser's print function and keep it as a record of your search.

Signature: _____

Date: _____

Project applicant on whose behalf this search was conducted:

APPLICANT

Contact Name: _____

Address: _____

City, State, Zip: _____

Phone: _____

Email: _____

PERSON CONDUCTING SEARCH (if not applicant)

Contact Name: _____

Address: _____

City, State, Zip: _____

Phone: _____

Email: _____

The following contact information is for the agencies involved in this Pennsylvania Natural Diversity Inventory environmental review process. Please read this entire receipt carefully as it contains instructions for how to contact these agencies for further review of this particular project.

PNDI Project Environmental Review Receipt

Project Search ID: 20080804153455

Project Name: Zelenople Park

Date: 8/4/2008 1:54:54 PM

Ecological Services Section
Pennsylvania Department of Conservation and Natural Resources
Bureau of Forestry
P.O. Box 8552
Harrisburg, PA 17105-8552
FAX Number: (717) 772-0271

APPENDIX H:

RSSC Architecture

Bath House and Restroom

Facilities Site Investigation

Report

ZELIENOPLE COMMUNITY PARK

Bathhouse and Restroom Facilities Site Investigation Report

(Prepared by RSSC Architecture)

General:

RSSC Architecture was requested by Pashek Associates to perform a site investigation of the existing Bathhouse facility at the pool area and two separate restroom/storage buildings, one located on the upper level of the site by the ball field and the other located adjacent to the main parking lot and tennis courts. The scope of work for the investigation included reviewing the basic existing conditions of the buildings, the structural integrity and for ADA handicap accessibility compliance. We visited the site on November 12, 2007 to document the existing conditions, verify dimensions and photograph the facilities. We were also able to obtain some architectural/plumbing plans of the Bathhouse facility dated for the original design in 1956 and for the renovations in 1996. Based upon our observations, we are pleased to provide the following report and recommendations.

Bathhouse and Concession Area:

The building consists of a check-in area, a lifeguard room, a men's locker room, a women's locker room, a storage/pantry area and a concession area. The bathhouse area (minus the pantry area) is 1,570 SF and the concession area including the pantry is 410 SF for a total of 1,980 SF. The main check-in area and circulation paths through the bathhouse meet the required clearances for ADA accessibility.

The majority of the exterior walls are constructed of a single wythe of 8" concrete block with the poolside wall consisting of wood framing with corrugated cement asbestos panels. The entrance way has a brick veneer facing surrounding the overhead door opening. The roof framing consists of wood trusses at 4'-0" on center with wood purlins fastened to the top chord of the truss at 2'-0" on center. This framing system is supported by wood beams and columns that are fastened to the top of the masonry walls or to the top of the foundation wall at the wood framed wall. The overall structure is in good condition with no observable failures or settlement cracks. The interior walls consist of both 8" and 6" concrete block and only go to a height of 6'-8" or 6'-10".

The roofing material on top of the purlins consists of opaque corrugated cement asbestos panels and translucent corrugated fiberglass panels. Portions of the surface material on the roof ridge vent cover were observed to missing or have been painted or patched. The fascia and rake trim boards are wood with the soffit areas consisting of the roof truss extensions and the underside of the corrugated roofing. Between the top of the walls and the roof beams are wood louvers that provide natural ventilation for the building. The block, roof framing, louvers and fascia, and the vertical corrugated siding are painted. A majority of the paint is in good condition on the interior and exterior with only the bottom areas closest to the ground or walks that have weathered and could be re-painted.

The overhead garage doors operate properly and are in good condition. The half door at the lifeguard office has lever hardware, but also has water damage at the bottom of the door where rusting is occurring. The door into the concession area is in good condition. The security gates/doors are steel bars and frames, in good condition, held shut with cotter pins or keyed locks on the latch side. There are no windows except for window screens in front of the garage doors at the concession area. The counter height at the concession openings are at 3'-1" above the finished grade, which is higher than the ADA allowable 2'-10".

The interior floor has non-slip flooring material, which is in fair condition with no observable failures or cracks, but is showing some wear and accumulation of dirt. There are some construction/control joints around the shower and toilet fixture areas that have fiberboard material slightly protruding above the floor surface. We recommend routing out a portion of this material and installing a joint sealant. The applied finish flooring in the concession area is in poor condition, very splotchy, with about a third of the top color removed. The countertop at the main check-in is in good condition and is mounted on top of the half height masonry wall at 3'-9" AFF. A portion of this counter should be at the ADA required height of 2'-10".

Men's Locker Area - Summary of the plumbing fixtures, toilet partitions & accessories:

- Two showerheads are provided, with ball valves to control the water flow. The lever handles to operate the valves meet ADA requirements and are within the allowed reach range of 48" AFF. One of the showerheads has the required ADA clear floor space, but does not have the required bench seating.
- The water closet fixture is in good condition and the size of the accessible stall meet the ADA requirements, but the placement of the fixture from the wall (21" to the centerline of the fixture is three inches greater than the allowed maximum of 18"), the installation of the grab bars (they are reversed, the 36" long bar should go behind the toilet)(also current standards require an additional vertical grab bar), the location of the toilet paper dispenser and the location of the sanitary vent stack (it interferes with the grab bar) do not meet the ADA accessibility standards.
- The painted metal toilet partition is in fair condition with the bottom edge of the partition and the door completely rusted. The door swings in the proper direction and has the proper latch, but is not self-closing which is required.
- The urinals are in good condition, are accessible fixtures and have the proper floor clearance, but the one fixture is mounted 7" too high at the rim and doesn't have the proper flush mechanism (either a lever or automatic).
- The lavatory is in good condition, is an accessible fixture and is mounted at the correct height. However the centerline of the fixture is five inches too close to the sidewall (10" versus the required 15") and the faucet does not meet accessibility standards (lever or automatic operation). The paper towel dispenser is in poor condition, with rust, and is mounted at the incorrect height (50" versus the maximum 48"). There is no mirror above the sink.
- The wall mounted stainless steel mirror by the lockers is in good condition and meets the ADA standards.
- The metal lockers are in operable condition with some rust on all the doors and at the bottom flange resting on the floor. The latch on the individual locker would meet the accessibility requirements for operation and the required clearance is provided in front of the locker.
- The countertop is in good condition, at 3'-4" above the finished floor, which is above the allowable reach limit of 2'-10" for ADA accessibility.

Women's Locker Area - Summary of the plumbing fixtures, toilet partitions & accessories:

- Two showerheads are provided, with ball valves to control the water flow. The lever handles to operate the valves meet ADA requirements and are within the allowed reach range of 48" AFF. One of the showerheads has the required ADA clear floor space, but does not have the required bench seating.
- The water closet fixtures are in good condition. The regular stalls are of sufficient size with toilet paper dispensers. The ADA accessible stall (6'-3" wide by 4'-7.5" deep) does not provide the required ADA clearances (5'-0" wide by 4'-11" deep for a floor mounted fixture), the centerline of the fixture is 24" from the wall (6" greater than the maximum 18"), the grab bars are installed reversed (the 36" long bar should go behind the toilet)(also current standards require an additional vertical grab bar) and the location of the toilet paper dispenser is too far from the front of the fixture (7"-9" max.).
- The painted metal toilet partitions are in fair condition with the bottom edge of the partition and the door completely rusted. The door swings in the proper direction and has the proper latch, but is not self-closing which is required. The metal partitions utilized for changing rooms are in fair condition, with some damage at the top hinge of the doors where they have been bent. Rusting at the bottom edge of the panels also occurs. Only one of the areas provides the proper ADA floor area clearances.
- The lavatory is in good condition, is an accessible fixture and is mounted at the correct height. However the faucet does not meet accessibility standards (lever or automatic operation). The paper towel dispenser is in poor condition, with rust, and is mounted at the incorrect height (50" versus the maximum 48"). There is no mirror above the sink.
- The wall mounted stainless steel mirror by the lockers is in good condition and meets the ADA standards.
- The metal lockers are in operable condition with some rust on all the doors and at the bottom flange resting on the floor. The latch on the individual locker would meet the accessibility requirements for operation and the required clearance is provided in front of the locker.
- The countertop is in good condition, at 3'-4" above the finished floor, which is above the allowable reach limit of 2'-10" for ADA accessibility.

The building is neither heated nor cooled by mechanical methods. Natural ventilation occurs with the louvers, open doors and the ridge vent. A water heater is provided in a small mezzanine space in the Men's Locker area above the pantry area for the concession space. Hot water is plumbed to the sinks in the concession area, but not to the sinks or showers in the bathhouse. The water service is in a sump area at one corner of the women's locker room and has a metal access floor plate. The plumbing piping was observed to be in good condition. Since the water had been drained from the pipes for the cold weather, testing of the operation of the faucets or toilet was not possible, but was indicated by personnel to be operable. The electrical service was observed to be in good condition and is located in the concession area. The light fixtures through the facility are operable.

Recommendations for the Bathhouse and Concession area

1. Modify and update handicap accessible toilet stalls in both men's and women's locker rooms with the proper clearances and accessory locations.
2. Replace or repair rusted bottom sections of toilet partitions. Another option is to replace metal partitions with non-rusting material such as PVC or phenolic type partitions.
3. Re-install one existing urinal to allowable ADA height and with flush operator.

4. Re-install lavatory at men's locker room to provide the required 15" dimension to the centerline of the sink.
5. Lower the counters at both locker rooms to 2'-10" AFF.
6. Provide a lower counter at 2'-10" AFF at the check-in counter.
7. Install tactile men's and women's locker room signs on the walls at the check-in counter.
8. Repair and repaint existing metal paper towel dispensers or replace dispensers with plastic non-rusting ones at both locker rooms, mounted at the allowable ADA heights.
9. Clean and repaint the bottom two feet of the exterior masonry walls where the paint is coming off.
10. Have existing corrugated cement asbestos panels tested and recommendations for proper removal and disposal.
11. Replace existing corrugated cement asbestos roof and wall panels with new metal, fiberglass or polycarbonate panels.

Restrooms and storage building by upper level ball field:

The building consists of a men's and a women's room and a lawn tractor storage area and two small storage rooms. The building is rectangular in shape and is 562 SF. There are two 6'-8" high, 'L' shaped wood privacy fences in front of the entry door way into each restroom along with a concrete pad. Even though the restrooms do not have permanent doors, there is not enough maneuvering room for handicap accessibility (the ability to turn around within a 5'-0" turning radius).

The exterior walls are constructed of a single wythe of 8" concrete block (painted on the exterior and at the restrooms). The roof framing consists of wood roof framing rafters with plywood sheathing. The roofing material is asphalt shingles, which are in good shape (no signs of edge curling or cupping of tabs was observed). The end gable walls are wood studs with plywood sheathing and painted wood lapboard siding (some of the paint has begun to peel off). The overall structure is in good condition with no observable failures or settlement cracks. However there was one joint that has opened up in the masonry in the women's restroom where the interior wall abuts the exterior wall. This may be due to the floor slab settling or just that the walls were not structurally connected. We recommend that a joint sealant be installed. The interior walls consist of both 8" block and T-1-11 wood sheathing over wood studs. The interior walls only go up to 9'-0" and then have a ceiling cap. The fascia and rake boards at the edge of the roof are painted wood, which has started to peel off in certain areas. The tractor storage area is accessed by a garage door, which is in good condition.

The main entryway to each restroom has a pair of painted steel bar security doors, which are in condition outside for some rust and needing a new coat of paint. The doorway has unfinished wood trim casing, but no door.

The interior floor at the restrooms is a concrete slab on grade with a painted finish that is in very poor condition with most of the paint worn away. There are portions of the slab missing at the vent pipes and drain pipes. There are no floor drains. The ceilings in the restrooms are painted wood sheathing panels with wood trim around the perimeter.

Men's & Women's Restroom - Summary of the plumbing fixtures, toilet partitions & accessories:

- The water closets, the urinal and the sinks are in good condition, but are not installed at the proper mounting heights or have the required ADA clearances. The faucets and flush handle of the urinal do not meet ADA requirements. The water closets do not meet the ADA height requirements. The lavatories partial block the entry way into the room.
- There are no toilet room accessories (paper towel dispensers, etc.) and the installed rod for the toilet paper, although simple and practical, do not meet the requirements for ADA standards. Grab bars are not provided.
- The toilet partitions are painted wood panels and 2x4 wood frames. The partition doors are on basic hinges with hook latches. They do not meet the ADA standards for compartment partitions and doors (to be self-closing).
- The size of each room is 7'-5" wide by 10'-1" deep. This size would be just barely large enough for re-designing the men's room to contain a private HC toilet stall, a urinal and a sink along all along the long interior wall. The women's restroom would only be able to support a single user toilet and sink, unless the room was lengthen to 13'-0", then two private toilets and a sink could be installed.

The building is neither heated nor cooled by mechanical methods. The water supply piping does extend below the concrete slab within the restrooms. The plumbing piping was observed to be in fair condition. Since the water had been drained from the pipes for the cold weather, testing of the operation of the faucets or toilet was not possible, but was indicated by personnel to be operable. The electrical service was observed to be in good condition and is located in the storage area. The light fixtures through the facility are operable.

Recommendations for the Upper Level Restrooms

1. Renovate both the restrooms in their entirety to provide multi-user ADA accessible facilities. Re-use acceptable fixtures where possible. Provide non-rusting, durable toilet partitions and new toilet accessories (toilet paper, towel dispensers and grab bars).
2. Patch and repaint concrete floor at the restrooms.
3. Provide larger concrete pads and modify privacy fencing to provide a minimum 5'-0" by 5'-0" outside the door opening (a larger pad would be required if a self closing door is installed).
4. Clean, prepare and repaint the exterior wood lap siding and the wood fascia trim boards.

Restrooms and storage building by Parking lot and tennis courts:

The building consists of a men's and a women's room and a storage area. The building is rectangular in shape and is 233 SF. There are two 6'-8" high, 'L' shaped wood privacy fences in front of the entry door way into each restroom along with a concrete pad. The concrete pads in front of each door are down one step, approximately 6" and there is not enough maneuvering room for handicap accessibility with the door swinging out from the restroom (a clearance of 5'-0" is required). The concrete walks around the building are in poor condition both sloping in different directions and breaking apart due to ground settlement. The walks are 4 ½ feet or 3 feet wide.

The exterior walls are constructed of a single wythe of 8" concrete block (painted on the exterior and at the restrooms). The roof framing consists of wood roof framing rafters with plywood sheathing. The end gable walls are wood studs with plywood sheathing and painted with

vertical battens. The roofing is asphalt shingle, which is in fair condition and is starting to approach its lifespan (some curling and cupping of the tabs was observed and debris has been left on the roof). The overall structure is in good condition, but there appears to be some old settlement cracks in the masonry at the two corners facing the tennis courts. The interior walls consist of 8" block and continue up to the bottom of the roof framing. The fascia and rake boards at the edge of the roof are painted wood, which have started to peel off in certain areas. The storage area is accessed by a garage door which is in good condition), in which the doorsill is 6" to 8" above the finished grade.

The main entryway to each restroom is a painted hollow metal door in a hollow metal frame. The door knob is not a level handle and doesn't meet ADA standards. The door has a closer, deadbolt and a latchset.

The interior floor at the restrooms is a concrete slab on grade with a painted finish that is in fair condition with some bare spots. There are no floor drains. The ceilings in the restrooms are the exposed roof rafters and wood sheathing panels.

Men's & Women's Restroom - Summary of the plumbing fixtures, toilet partitions & accessories:

- The water closets and the urinal and the sinks are in good condition. The water closets and urinal are not installed at the proper mounting heights or have the required ADA clearances. The faucets of the sinks and flush handle of the urinal do not meet ADA requirements. However, the sinks have the proper floor clearances, but are not mounted at the correct height.
- There are no toilet room accessories (paper towel dispensers, etc.) and the installed rod for the toilet paper, although simple and practical, do not meet the requirements for ADA standards. Grab bars are not provided.
- The toilet partitions are painted wood panels and 2x4 wood frames. The partition doors are on basic hinges with hook latches. They do not meet the ADA standards for compartment partitions and doors (to be self-closing).
- The size of each room is 6'-0" wide by 10'-9" deep. This size would be just barely large enough for re-designing the men's room to contain a private HC toilet stall, a urinal and a sink along all along the long interior wall. The women's restroom would only be able to support a single user toilet and sink, unless the room was widened to 8'-0", then two private toilets and a sink could be installed.

The building is neither heated nor cooled by mechanical methods. There are wood louvers and insect screens in opposing walls of each restroom, which provide cross ventilation. The water supply piping does extend below the concrete slab within the restrooms. The plumbing piping was observed to be in fair condition. Since the water had been drained from the pipes for the cold weather, testing of the operation of the faucets or toilet was not possible, but was indicated by personnel to be operable.

Recommendations for the Lower Level Restrooms by the parking lot and tennis courts

1. Renovate both the restrooms in their entirety to provide multi-user ADA accessible facilities. Re-use acceptable fixtures where possible. Provide non-rusting, durable toilet partitions and new toilet accessories (toilet paper, towel dispensers and grab bars).
2. Patch and repaint concrete floor at the restrooms after renovations.
3. Replace door hardware with lever lockset hardware and new door closers.

4. Remove existing concrete walks around the building and install new concrete walks. Install walks to slope up to existing floor line to provide ADA accessibility. Provide larger concrete pads and modify privacy fencing to provide a minimum 5'-0" by 5'-0" outside the door opening (a larger pad would be required if a self closing door is installed).
5. Clean, prepare and repaint the exterior the wood fascia trim boards.
6. Review the option of replacing the roof shingles.

Conclusion:

The overall existing conditions of the bathhouse and restroom buildings are in good condition. There are some minor exterior maintenance items, such as painting that should be addressed to extend the lifespan of the exterior wood trim and some interior materials that have deteriorated over time, mainly due to rusting that should be re-finished or replaced. However, even though the existing plumbing fixtures are in good order, all of the faucets and urinal flush valves are outdated in regards to meeting ADA accessibility requirements, along with the clear floor space requirements and mounting heights. Further studies are recommended in regards to design and feasible layout options for possible updating and renovating the existing facilities to meet the current ADA accessibility standards. If there are any questions or clarifications regarding this report, please feel free to contact RSSC Architecture.

Respectively Submitted,

Ronald S. Gigler

Ronald S. Gigler, AIA
RSSC Architecture



APPENDIX I:

Permeable Paving Information

Appendix 8

Permeable Hot-mix Asphalt Sample Specification

Origin: Cahill Associates, Westchester, Pennsylvania (Cahill Associates, Section 02725-General porous paving and groundwater infiltration beds, 2004).

Application: Parking lots with aggregate base for retention storage.

Soil infiltration rate: Required soil infiltration varies depending on contributing area, aggregate base storage and infiltration capacity, and design storm. In general, minimum long-term infiltration rate should be 0.1 inch/hour.

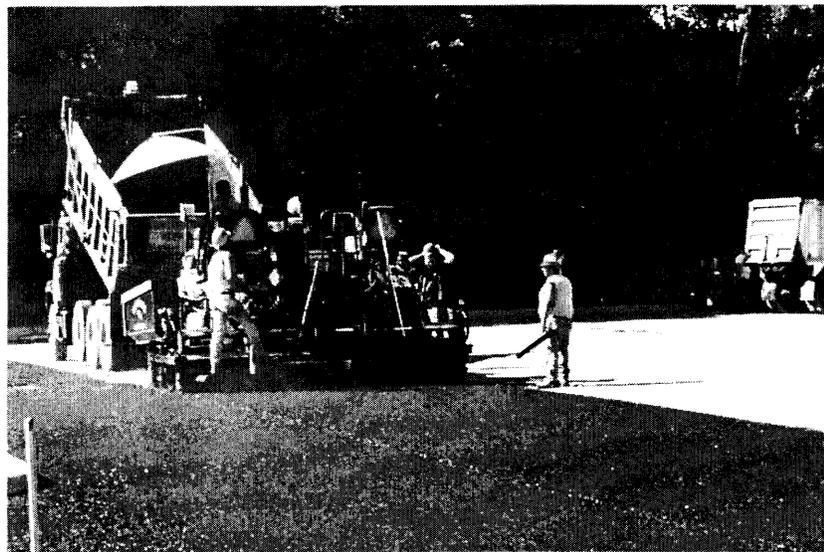


Figure 1 Parking installation. *Courtesy of Cahill Associates*

Top course: 2.5 inches thick

Aggregate grading:	U.S. Standard Sieve	Percent Passing
	1/2	100
	3/8	92-98
	4	32-38
	8	12-18
	16	7-13
	30	0-5
	200	0-3

Bituminous asphalt cement

- 5.75% to 6.00% by weight dry aggregate.
- Drain down of asphalt binder should be no greater than 0.3% in accordance of ASTM D6390.
- Use a neat asphalt binder modified with an elastomeric polymer to produce a binder meeting requirements of performance or PG 76-22 (PG recommendation for mid-Atlantic states).
- Elastomeric polymer is a styrene-butadiene-styrene or equal applied at a rate of 3% by total weight of the binder. Thoroughly blend polymer and binder at asphalt refinery prior to loading and transportation. The polymer modified asphalt binder should be heat and storage stable.
- Hydrated lime is added at a rate of 1.0% by weight of the total dry aggregate to mixes with granite stone to prevent separation of the asphalt from the aggregate and achieve a required tensile strength ratio of at least 80%. Hydrated lime should meet ASTM C 977.
- The asphalt mix should be tested for resistance to stripping by water in accordance with ASTM D 3625. If estimated coating area is not above 95%, anti-stripping agents should be added to the asphalt.

Asphalt installation

- Bituminous surface course mix is laid in one 2.5-inch lift directly over aggregate storage base.
- Laying temperature of the mix should be between 240 and 250 degrees Fahrenheit and ambient temperature should not be below 40 degrees Fahrenheit.
- Compaction of the surface course should occur when the surface is cool enough to resist a 10-ton roller. One or two passes is all that is required for proper compaction and additional rolling can cause a reduction in surface course porosity.

Aggregate base/storage bed material

- Coarse aggregate is 0.5- to 2.5-inch uniformly graded stone with a wash loss of no more than 0.5% (AASHTO size number 3).

Aggregate grading:	U.S. Standard Sieve	Percent Passing
	2 ½"	100
	2"	90-100
	1 ½"	35-70
	1"	0-15
	½"	0-5

- Choker base course aggregate should be 3/8- to 3/4-inch uniformly graded stone with a wash loss of no more than 0.5% (AASHTO size number 57).

Aggregate grading:	U.S. Standard Sieve	Percent Passing
	1 ½"	100
	1"	95-100
	½"	25-60
	4	0-10
	8	0-5

Aggregate base/storage installation

- Stabilize area and install erosion control to prevent runoff and sediment from entering storage bed.
- Existing subgrade under base should NOT be compacted or subject to excessive construction equipment traffic prior to installation.

- Storage bed should be excavated level to allow even distribution of water and maximize infiltration across parking entire area.
- Immediately before base aggregate and asphalt placement remove any accumulation of fine material from erosion with light equipment and scarify soil to a minimum depth of 6 inches.
- Geotextile fabric is a Mirafi 160N or approved equal. Overlap adjacent strips 16 inches and secure fabric 4 feet outside of storage bed to reduce sediment input to bottom of area.
- Install course (0.5 to 2.5 inch, AASHTO size number 3) aggregate in lifts no greater than 8 inches and lightly compact each lift.
- Install 1-inch choker course (No. 8 to 1.5-inch aggregate, AASHTO size number 57) evenly over surface of course aggregate base.
- Storage and infiltration bed depth will depend on infiltration rates, storage requirement and design storm; however, Cahill Associates often install 18- to 36-inch sections designed for full retention of storm flows.
- All erosion and sediment control should remain in place until area is completely stabilized with soil amendments, landscaping or other approved controls.

Backup systems

- For backup infiltration capacity (in case the asphalt top course becomes clogged) an unpaved stone edge is usually installed that is hydrologically connected to the storage bed (see Figure 2).

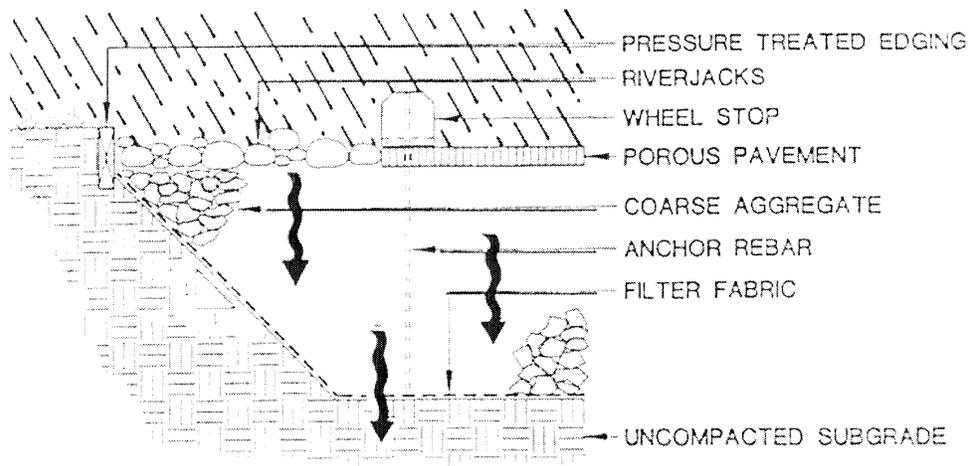
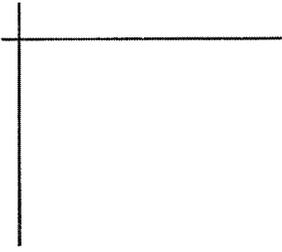


Figure 2 Backup infiltration system for permeable parking lot installations.
Graphic courtesy of Cahill Associates

- To ensure that the asphalt top course is not saturated from high water levels in the aggregate base (as a result of subgrade soil clogging), a positive overflow is usually installed.

Cahill Associates design some systems to infiltrate storm flows from adjacent buildings. Water is collected from roof downspouts, conveyed through a catch basin (to remove debris), and distributed in perforated pipes throughout the storage and infiltration aggregate base.



Alternative Stormwater Management Practice

PERMEABLE PAVING

Description

Permeable paving is a broadly defined group of pervious types of pavements used for roads, parking, sidewalks, and plaza surfaces. Permeable paving provides an alternative to conventional asphalt and concrete surfaces and are designed to infiltrate rainfall through the surface, thereby reducing stormwater runoff from a site. In addition, permeable paving reduces impacts of impervious cover by augmenting the recharge of groundwater through infiltration, and providing some pollutant uptake in the underlying soils. Due to the potential high risk of clogging the pavement voids and the underlying soils, permeable paving should be limited in its use and should require strict adherence to manufacturer's specifications for installation and maintenance.

The different types of paving can be broken into two basic design variations: porous pavement and permeable pavers. *Porous pavement* is a permeable asphalt or concrete surface that allows stormwater to quickly infiltrate to an underlying stone reservoir. Runoff then percolates directly into the underlying soil, which recharges groundwater and removes stormwater pollutants. Runoff can also be drained out of the stone reservoir through an underdrain system connected to the stormdrain system. Porous pavement looks similar to conventional pavement, but is formulated with larger aggregate and less fine particles, which leaves void spaces for infiltration. *Permeable pavers* include concrete grid and grass pavers, interlocking concrete modules, and brick pavers (Figure 1). Often, these designs do not have an underground stone reservoir, but can provide some infiltration and surface detention of stormwater to reduce runoff velocities.

Recommended Application of Practice

Permeable paving can be used to treat low traffic roads (i.e., a few houses or a small cul-de-sac), single-family residential driveways, overflow parking areas, sidewalks, plazas, and courtyard areas. Good opportunities can be found in larger parking lots, spillover parking areas, schools, municipal facilities, and urban hardscapes. Permeable paving is intended to capture and manage small frequent rainfall events. These events can include as much as 30 – 50% of the annual precipitation (Schueler, 1987). The system does not readily work for storms greater than 1-inch or with high rainfall intensities. The practice can be applied in both redevelopment and new development scenarios.

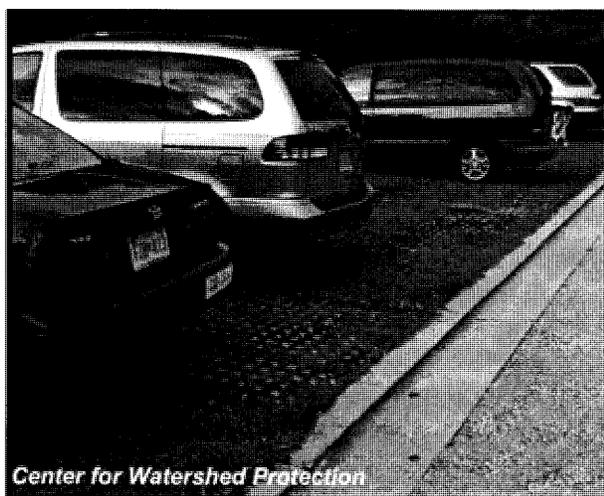


Figure 1: Application of Permeable Pavers

Benefits

Permeable paving can have many benefits when applied to redevelopment and infill projects in urban centers. The most notable benefits include:

- Groundwater recharge augmentation
- Runoff reduction to ease capacity constraints in storm drain networks
- Effective pollutant treatment for solids, metals, nutrients, and hydrocarbons (see pollutant removal performance, Table 1)
- Aesthetic improvement to otherwise hard urban surfaces (e.g., interlocking permeable pavers, lattice pavers)

Two long-term monitoring studies of porous pavement systems conducted in Rockville, MD, and Prince William, VA, indicated high removal efficiencies for sediments and nutrients (see Table 1). The Rockville study also reported high removals for zinc (99%), lead (98%), and chemical oxygen demand (82%) (Schueler, 1987).

Table 1: Estimated Pollutant Removal Performance of Porous Pavement (Porous Asphalt) (EPA, 1999)	
Pollutant Parameter	% Removal
Total Phosphorus	65
Total Nitrogen	80 – 85
Total Suspended Solids	82 – 95

Feasibility/Limitations

Major limitations to this practice are suitability of the site grades, subsoils, drainage characteristics, and groundwater conditions. Proper site selection is an important criteria in reducing the failure rate of this practice. Areas with high amounts of sediment-laden runoff and high traffic volume are likely causes of system failure. High volume parking lots, particularly parking drive aisles, high dust areas, and areas with heavy equipment traffic, are not recommended for this practice. Ownership and maintenance responsibility should also be considered in determining the potential for success.

Soil It is important to confirm that local soils are permeable and can support adequate infiltration, since past grading, filling, disturbance, and compaction can greatly alter the original infiltration qualities. The underlying parent soils should have a minimum infiltration rate of 0.5 inches per hour. To maintain effective pollutant removal in the underlying soils organic matter content in the subsoils is important.

Permeable pavers are typically not installed over a gravel chamber, but can be placed on a sand bed to facilitate drainage. Pavers generally provide more surface storage than infiltration capacity, but have the same limitations in terms of clogging. Permeable paving should generally have a drainage time of at least 24 hours.

Cold Climate Considerations Permeable paving practices can be used effectively in cold-climate areas, but should not be used where sand or other materials are applied for winter traction since they quickly clog the pavement. Care should be taken when applying salt to permeable pavement, since chlorides can easily migrate into the groundwater. Care should also be taken to select a surface material that can tolerate undulations from frost movements, or to protect pavements from frost damage (Ferguson, 2005).

Land Use Like any stormwater infiltration practice, there is a possibility of groundwater contamination. Therefore, permeable paving should not be used to treat stormwater hotspots, areas where land uses or activities have the potential to generate highly contaminated runoff. These areas can include: commercial nurseries, auto recycling and repair facilities, fleet washing facilities, fueling stations, high-use commercial parking lots, and marinas. Additionally, certain types of permeable pavers, such as block, grid pavers, and gravel, are not ideal for areas that require handicap accessibility.

Sizing and Design Guidance

The two types of permeable paving, *porous pavement* and *permeable pavers*, have specific sizing guidelines, which are described below.

Porous pavement areas are generally designed to accommodate a 1-inch or less design storm. Storms greater than that will either sheet flow off the site, or if not graded properly, will pond on-site. Other design considerations for porous pavement include:

- Soils permeability should be between 0.5 and 3.0 inches per hour.
- Clean, washed aggregate must be specified for the gravel bed/stone reservoir (Figure 2).
- The bottom of the stone reservoir should not exceed a slope of 5 percent. Ideally it should be completely flat so that the infiltrated runoff will be able to infiltrate through the entire surface. Perforated pipes may be used to distribute runoff through the reservoir evenly.
- Located at least 3 feet above the seasonally high groundwater table,

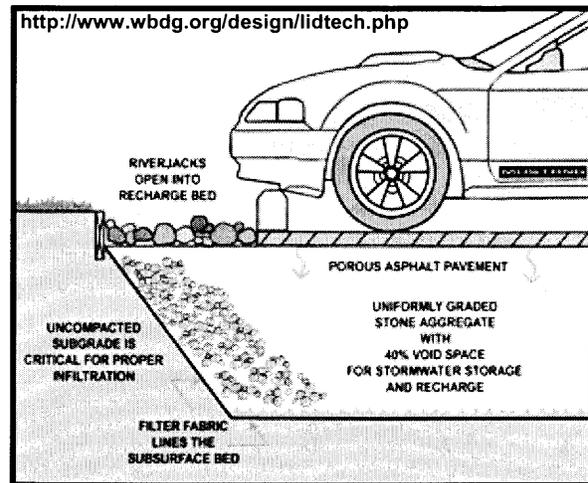


Figure 2: Porous pavement with a gravel bed/stone reservoir

and at least 100 horizontal feet away from drinking water wells.

- As a back-up measure in case of clogging, permeable paving practices can be designed with a perimeter trench to provide some overflow treatment should the surface clog. The trench may be connected to the stone reservoir
- The contributing drainage area should generally be less than 5 acres, and where feasible, water should sheet flow onto the practice.
- If stormwater flows onto a permeable paving surface the use of pretreatment practices should be considered so effective pollutant removal can be achieved.

The basic equation for sizing the required porous surface area is as follows:

$$A_p = V_w / (n \times d_t)$$

where:

A_p = the required porous pavement surface area [square feet]

V_w = the design volume [cubic feet]

n = porosity of gravel bed/reservoir (assume 0.4)

d_t = depth of gravel bed/reservoir (maximum of four feet, and separated by at least three feet from seasonally high groundwater) [feet]

An example calculation for porous pavement is provided in Table 1.

Table 1: Porous Pavement Simple Sizing Example
<i>A porous pavement area is being designed to treat a 20,000 square foot drainage area. Based on the water quality volume required to treat this area, an assumed gravel bed/reservoir porosity of 0.4, and a gravel bed/reservoir depth of one foot, the following calculations were completed to determine the required porous pavement surface area.</i>
<p>Step 1: Calculate the WQv</p> $WQv = (P) (Rv) (A) / 12$ <p>where:</p> <p>P = 90% rainfall number = 0.9 in</p> $Rv = 0.05 + 0.009 (I) = 0.05 + 0.009(100) = 0.95$ <p>I = percentage impervious area draining to site = 100%</p> <p>A = Area Draining to Practice (i.e., treatment area) = 20,000 ft²</p> $WQv = [(0.9)(0.95)(20,000)] / 12 = 1,425 \text{ ft}^3$
<p>Step 2: Calculate porous pavement surface area:</p> $A_p = WQv / (n \times d_t)$ <p>where:</p> <p>n = assumed porosity = 0.4</p> <p>d_t = gravel bed/reservoir depth = 1 ft</p> $A_p = 1,425 \text{ ft}^3 / (0.4 \times 1 \text{ ft}) \quad A_p = 3,562.5 \text{ ft}^2$
<i>Therefore, to treat the 20,000 square feet, the porous pavement area needed is approximately 3,560 ft².</i>

Permeable paver (e.g., interlocking block, concrete gird pavers, etc.) areas are most effective when designed to accommodate small rainfall depths (e.g., less than 1 inch) that fall directly on the paver areas. They are less effective and more prone to clogging when used to also receive runoff from other areas. Unless underlying soils are extremely permeable, larger storms will either sheet flow off the site, or if not graded properly, will pond on the site.

For permeable pavers, treatment level will be based on the area covered by permeable pavers multiplied by a “discount factor” (F), that reduces the accounts for the likely effectiveness of the paver based on the application, as described below.

$$TA = (\text{permeable paver surface area}) \times (F)$$

where:

TA = Treatment Area

F = 0.5 or 0.75 (based on high or low usage area designation, respectively)

High-usage areas: 0.5 discount factor

This includes sites where permeable pavers are likely to receive fairly high levels of traffic, potential compaction, or where the underlying soils have poor infiltration capacity (e.g., hydrologic soil groups C and D). Examples include multi-family and commercial overflow parking, urban plazas and hardscapes. The assumption is that these areas will be more prone to clogging and compaction of the void spaces and decreased function over time.

Low-usage areas: 0.75 discount factor

This includes low-traffic areas such as single family residential uses, institutional overflow parking with only periodic use, emergency access areas, grass paving systems, and schools, and includes sites with sandy parent materials. The assumption is that these areas will maintain some infiltration capacity and will have minor compaction and clogging issues.

An example calculation for permeable pavers is provided in Table 2.

Table 2: Permeable Pavers Simple Sizing Example
Area covered by permeable pavers = 10,000 ft ² of commercial overflow parking and 2,000 ft ² of emergency access road/path
Solving for treatment area (TA):
$TA = 10,000 \text{ ft}^2 \times 0.5 + 2,000 \text{ ft}^2 \times 0.75$ TA = 6,500 ft²

Environmental/Landscaping Considerations

Stringent sediment controls are required during the construction stage, and all adjacent land areas should be stabilized prior to installing permeable paving practices. Where feasible, a grass filter strip is recommended to pre-treat adjacent land areas that drain to porous pavement areas.

Maintenance

The type of permeable paving and the location of the site dictate the required maintenance level and failure rate. Concrete grid pavers and plastic modular blocks require less maintenance because they are not clogged by sediment as easily as porous asphalt and concrete. Areas that receive high volumes of sediment will require frequent maintenance activities, and areas that experience high volumes of vehicular traffic will clog more readily due to soil compaction. Typical maintenance activities for permeable paving are summarized below (Table 3).

Activity	Schedule
Ensure that paving area is clean of debris	Monthly
Ensure that paving dewaterers between storms	Monthly and after storms >0.5 in.
Ensure that the area is clean of sediments	Monthly
Mow upland and adjacent areas, and seed bare areas	As needed
Vacuum sweep frequently to keep surface free of sediments	Typically 3 to 4 times a year
Inspect the surface for deterioration or spalling	Annual

When maintenance of permeable paving areas is required, the cause of the maintenance should be understood prior to commencing repairs so unnecessary difficulties and recurring costs can be avoided (Ferguson, 2005). Generally, routine vacuum sweeping and high-pressure washing (with proper disposal of removed material and washwater) can maintain infiltration rates when clogged or crusted material is removed. Signs can also be posted visibly within a permeable paving area to prevent such activities as resurfacing, the use of abrasives, and to restrict truck parking.

Cost

Costs for permeable paving are significantly more than traditional pavement (Table 4). However, incorporating savings from not having to build a separate stormwater infrastructure in addition to paving, the overall project costs are often reduced.

The estimated annual maintenance cost for a porous pavement parking lot is \$200 per acre per year (EPA, 1999). This cost assumes four inspections each year with appropriate jet hosing and vacuum sweeping.

Paver System	Cost Per Square Foot (Installed)
Asphalt	\$0.50 to \$1.00
Porous Concrete	\$2.00 to \$6.50
Grass/gravel pavers	\$1.50 to \$5.75
Interlocking Concrete Paving Blocks	\$5.00 to \$10.00

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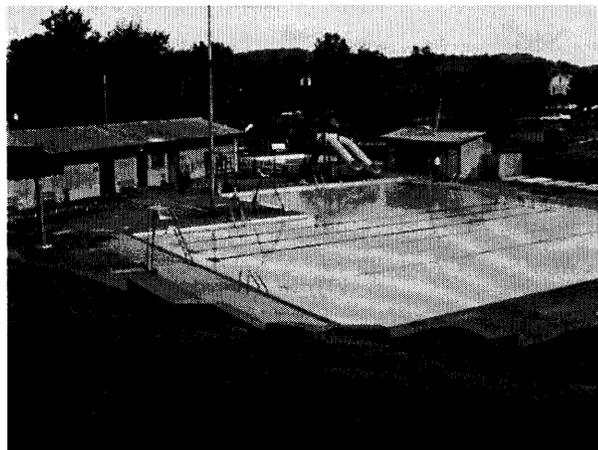
APPENDIX J:

Wade Associates Pool Facility
Analysis Report

**FACILITY ANALYSIS
ZELIENOPE BOROUGH COMMUNITY POOL**

A. PURPOSE

1. The purpose of this Analysis is to outline problems and deficiencies the swimming pool facility is currently experiencing, make recommendations for correction, and prepare estimates for recommended corrections. Also addressed are items pertaining to changes in the PA International Building Code referenced publication American National Standards Institute (ANSI) for Public Swimming Pools since the facility was built and recommendations for enhancing the use of the facility.
2. The facility consists of a Bathhouse/Concession, Main Pool, Wading Pool, Main Pool and Wading Pool Filter Room, concrete decking, perimeter fencing and lawn sunbathing area. Each of these items is addressed separately.
3. The original Pool facility was constructed in 1956 and since that time, except for normal yearly maintenance (painting, etc.), the Wading Pool was reconstructed, the filter and chemical systems for the Wading Pool were installed, and an addition was added to the Main Pool in 1966.



B. MAIN POOL

1. Main Pool Structure

The Main Pool comprises a water surface area of approximately 5,259 square feet and a volume of approximately 231,000 gallons. The Pool shell is constructed of poured concrete floor and walls. The Pool ranges in depth from three feet (3'-0") in the shallow area to approximately twelve feet (12'-0") in the deep end directly over the Pool drains. A precast concrete coping exists on top of the original Pool wall and no coping was installed on the addition. The Pool finish is paint and was completely repainted four (4) years ago. Only touch-up painting has been done each year since that time.

The Pool is currently leaking approximately two inches (2") to three inches (3") per day. The source of the leaking could either be the Pool shell or the recirculation piping, or combination of both. Prior to undertaking any renovations, the following tests are recommended:

- a) Pressure test of drain, skimmer and filtered water return piping.
- b) Dye testing of Pool structure especially around the expansion.

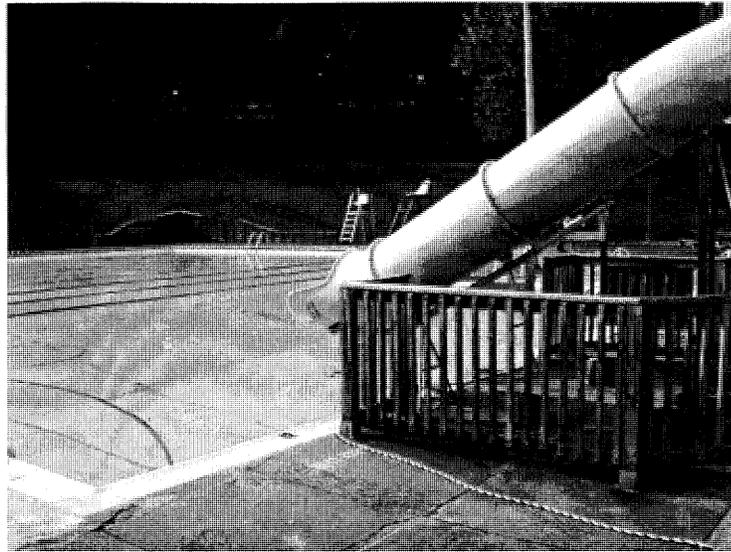
The following recommendations are made for renovations and improvements to the structure:

- a) Experience has recommended that Pools should be sandblasted every ten (10) to twelve (12) years to completely remove all existing paint and spalled areas of concrete. Since the existing coating on the Pool is extremely deteriorated and the Pool has not been sandblasted in the last twenty (20) years, sandblasting is extremely important.
- b) There are two (2) options to consider for recoating the Pool upon completion of sandblasting and other recommended renovations in this Analysis:

- 1) Repaint the entire interior of the Pool utilizing a chlorinated rubber-base Pool paint that is applied in three (3) coats over the existing concrete floor; however, this procedure will require (at minimum) every other yearly painting, and possibly yearly painting, thereby resulting in a continuous maintenance expense.
 - 2) The second option to consider is plastering the entire interior surface of the Pool. Pool plaster consists of white cement, white sand and very fine ground marble chips that is applied approximately 3/8" to 1/2" in thickness over the existing sandblasted concrete surface. Plastering will provide a monolithic waterproofing over the entire Pool shell that is white in color and eliminates the maintenance cost of repainting the Pool.
 - 3) When the Pool surface is plastered, racing/lap lane lines, targets, and other markings required by Code are installed in a non-skid ceramic tile, also eliminating yearly painting. A row of six inch (6") wide ceramic tile is required around the entire perimeter of the Pool directly in under the coping so the plaster surface is not exposed during operation and over the winter months.
 - 4) With proper operation, maintenance and winterization procedures, the new plaster surface could last approximately fifteen (15) to twenty (20) years without requiring replaster or painting, thereby resulting in a considerable dollar and manpower savings over painting.
- c) There is only one (1) bottom drain in the deep end of the Pool that is constructed of concrete with a steel grating. Current Code requires two (2) anti-vortex type drains; therefore, two (2) new fiberglass drain boxes encased in concrete should be installed.
 - d) There are numerous expansion (construction) joints in the floor and walls of the Pool. (See attached EXISTING GENERAL POOL AND SITE PLAN.) Without proper operation and maintenance, leaking through the joints can be realized and most likely is occurring. During sandblasting, the existing

joints should be addressed. There are two (2) options to address in rehabilitating the joints:

- 1) Remove the existing joint material to the depth of the waterstop, if one exists. Normally a copper material waterstop was used during the time-frame that this Pool was built, which experience has found to be extremely corroded and in some cases broken. Also, the joint material could be asphalt which deteriorates from exposure to the water chemistry. Upon completion of sandblasting, the joints would be repacked with a Styrofoam backer rod to approximately 1/2" below the surface and then a rubber-based type caulking is applied. However, the option results in, at minimum, yearly checking and possibly repeating the procedure every three (3) or four (4) years. If this option is selected with the plaster option, a row of four inch (4") white tile would be installed on each side of the joints to provide an edge for the plaster to terminate.
 - 2) The second option is to completely eliminate the joints. This requires removing approximately a nine inch (9") width of concrete floor on each side of the joint, installing steel reinforcing dowels, a waterstop material and pouring a concrete filler.
- e) The depth and floor slopes in the deep end of the Pool do not meet current Code requirements for any height of diving boards; therefore, no diving boards exist. To renovate this area to include diving facilities would be extremely difficult and expensive. Presently, there is a two (2) tube drop type slide installed on one (1) side of the deep end of the Pool. This type of slide requires a deeper depth of water (at minimum, seven feet) which currently does not exist at the end of the slide tubes due to the hopper design of the deep end. The other side of the deep end is used for general swimming which poses a potential liability situation for the Borough since swimming in deep water is permitted. Options for consideration are as follows:



- 1) Remove and reinstall the Slide closer to the back of the Pool to increase the depth at the end of the slide tubes.
 - 2) Should the Borough design to install diving board(s) reconstruction of the Pool to confirm to current Code is difficult and expensive. The deep end of the Pool is too close to the Bathhouse and Wading Pool to expand the length; therefore, reconstruction would have to occur inside of the present Pool shell resulting in eliminating of usable swimming depths.
- f) The existing coping on the original Pool shell is extremely deteriorated and should be removed and new installed. One reason for the deterioration is due to the condition of the expansion joint between the coping and the decking. This joint must be rebuilt after the new coping is installed. Also, coping should be installed on the addition to provide a continuity appearance and provide a hand hold (which the bullnose of the coping provides) around the entire perimeter of the Pool as required by Code.
- g) The filtered water return system piping is encased in a concrete curb (ledge) approximately twelve inches (12") wide and eight inches (8") high. Current Codes prohibit intrusions into the Pool like this; therefore, the curb should be removed and a new filter water return system installed. (See Recirculation System.)

2. **Main Pool Recirculation System**

The Main Pool recirculation system consists of approximately four inch (4") diameter holes in the wall for skimmers, filter water return fittings, drain in the deep area of the Pool and piping for each.

The following recommendations are made for renovations and improvements to the recirculation system:

- a) The existing filtered water return fittings are located in a concrete curb at the intersection of the wall in the floor of the Pool and could be leaking as referenced in the second paragraph under 1, Main Pool Structure. The curb should be eliminated and new returns installed in the Pool wall approximately two foot (2'-0") from the top of the Pool. The wall fittings will provide better recirculation of Pool water and eliminate the non Code compliant curb. This should be done prior to installing the new Pool surface recommended in 1, Main Pool Structure.
- b) The existing holes used for skimmers are not Code compliant; therefore, complete replacement with a compliant skimmer is recommended. The Borough could consider removing a portion of the existing Pool wall and installing a continuous perimeter gutter system; however, this involves considerably more cost than installing new skimmers.
- c) The drain was addressed in Paragraph c) under 1, Main Pool Structure. The recommendation for new drains should be implemented.
- d) Since the exact material and size of the perimeter Pool recirculation piping is not known and based on the recommendations for the returns, skimmers and drain, new PVC recirculation piping for three (3) is recommended. This is the least expensive method of replacing the skimmer and return piping and requires removal of approximately a three foot (3'-0") to four foot (4'-0") wide portion of the existing concrete deck around the perimeter of the Pool and then to the Filter Room to allow for excavation and installation.

3. **Main Pool Deck Equipment**

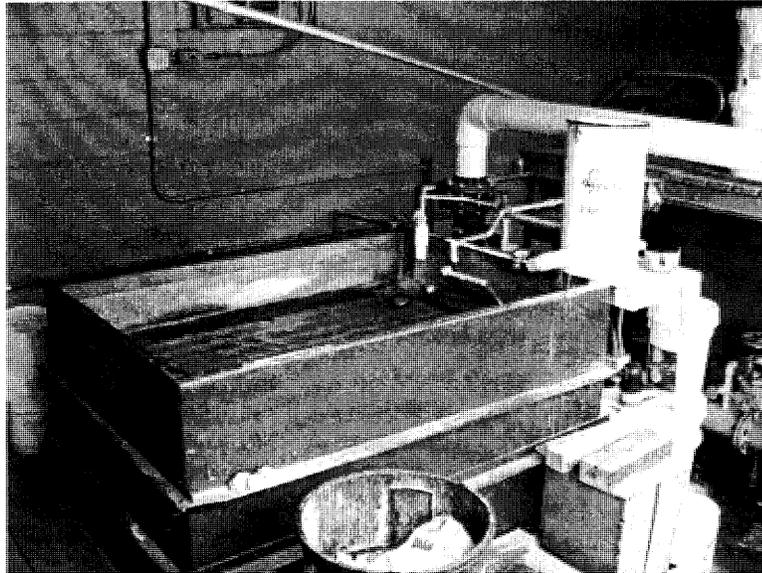
The Main Pool deck equipment consists of lifeguard chairs and ladders. The following recommendations are made for renovations and improvements:

- a) Current Codes require one (1) lifeguard chair per 2,000 square foot of Pool surface, or a minimum of three (3) chairs are required for this facility. Presently there are three (3) portable-style chairs around the perimeter of the Pool; therefore, this standard is met.
- b) Current Codes require some form of access into the Pool either by steps or ladders at not more than seventy-five foot (75'-0") intervals around the perimeter of the Pool. Currently there are seven (7) stainless steel ladders located around the Pool and one (1) set of portable steps; therefore, this Standard is met.

4. **Main Pool Filtration and Chemical Systems**

The Main Pool filtration system is located in the Filter Building and consists of a vacuum diatomaceous (D.E.) system inside a fiberglass filter tank. The present chemical system consists of chlorine tablets for Pool disinfection with muratic acid utilized for pH correction.

The vacuum D.E. system is the most efficient type of filtration system; however, the top elevation of the filter tank is approximately eighteen inches (18") above the top elevation of the Pool requiring a two (2) recirculation pump system -- one (1) supplying into the tank and the other to the Pool. This presents a balancing problem at the tank. The piping in the Filter Room is a combination of PVC and cast-iron; therefore, replacement with all PVC is recommended. The majority of valves for the filtration system have a cast-iron body and wafer; therefore, replacement with a complete CPVC plastic valves is recommended to eliminate corrosion.



The following recommendations are made for renovations to the filter and chemical systems:

- a) The existing filter tank should be removed as well as the concrete floor to allow for excavation and constructing a new concrete filter tank with the top of the tank the same elevation as the Pool. Removal of the floor and additional excavation is required to provide the proper depth of the new tank.

This will allow for gravity flow of the drain and skimmer lines into the tank and eliminate the one (1) recirculation pump required for this function. This is the proper way to install a vacuum D.E. system. Installing a sand system could be considered; however, this system requires a larger horsepower recirculation pump and discharges considerably more water to waste during cleaning, thereby increasing operational costs. If a sand system is desired, a horizontal fiberglass tank system should be installed.

- b) All new PVC piping and CPVC valves should be installed with either filter system the Borough selects.
- c) Consideration should be given to removing the present chlorine tablet system and installing a fiberglass bulk liquid chlorine storage tank incorporating dual-containment with venting to the outside, thereby

eliminating handling of chemicals and the possibility of chlorine vapors escaping in the Filter Room which results in possible corrosion to certain equipment, etc. A fiberglass tank with a capacity of either two hundred (200) or three hundred (300) gallons would be sufficient based on the size and volume of the Pool. Liquid chlorine is more efficient than a tablet system on outdoor Pools.

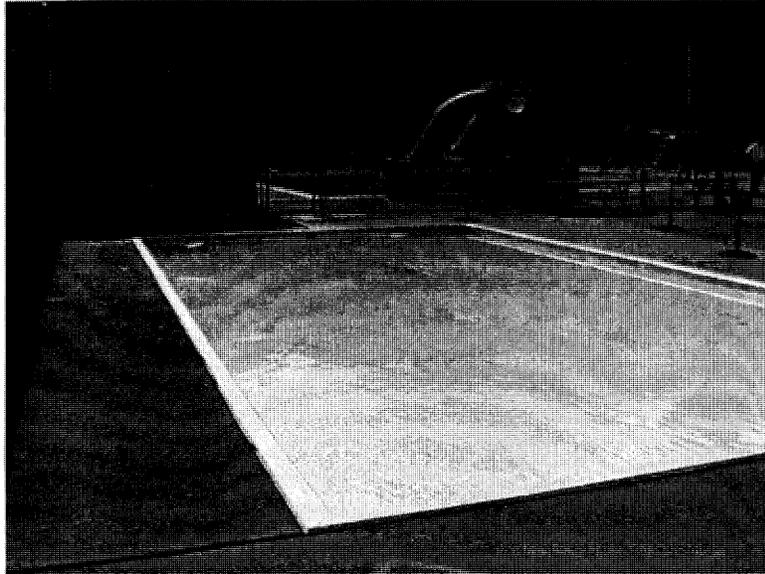
If the liquid chlorine system is not considered, then reconfiguring the recirculation piping for the tablet feeder must be incorporated. Presently the tablet feeder is fed from the filtered water return line but then is discharged into the D.E. filter tank. This results in the largest concentration of chlorine passing through the filter elements and recirculation pump returning water to the Pool causing corrosion to the pump and lost efficiency of the filter system. (See previous picture.)

- d) The installation of an automatic chemical control unit is recommended to monitor the chlorine and pH levels in the Pool at all times. This unit monitors the Pool water chemistry 24-hours a day and automatically activates the feed system for each to ensure that proper chemical levels are maintained. This normally results in a savings of chemicals by ensuring the proper water chemistry and eliminates a potential health problem.

- e) Presently, muratic acid is used for pH correction. Installation of a carbon dioxide (Co^2) system for pH correction is recommended and eliminates the use for a harsh chemical for this correction. However, the total alkalinity reading of the make-up water supply should be taken and if this reading is over 120 parts per million (ppm), then the use of Co^2 would be prohibited.

C. WADING POOL

1. The Wading Pool comprises a water surface area of approximately 800 square feet and a volume of approximately 2,800 gallons.



2. The original Wading Pool structure was apparently removed and the present Pool constructed. A new recirculation system was installed and a separate filtration and chemical system also installed in the Filter Building.
3. If the present Wading Pool is satisfactory for the type of use the Pool is experiencing, then only sandblasting of the Pool structure and recoating, as per the recommendations for the Main Pool, is recommended at this time. The existing recirculation piping should be tested to ensure tightness.
4. This Pool also has a chlorine tablet disinfection system and the piping is also configured to allow chlorine to pass through the filter tank and recirculation pump similar to the Main Pool. If the tablet system is maintained, the piping should be reused to eliminate this situation. However, if the bulk liquid chlorine system recommended for the Main Pool is installed, the tank can be utilized for both Pools.
5. A CO_2 system and chemical control unit should also be considered for this Pool.

D. DECK

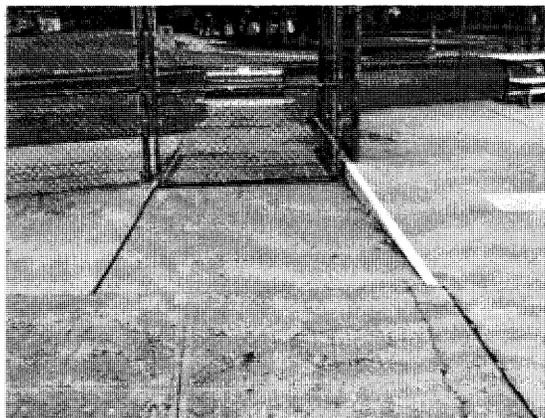
1. The existing concrete deck around the perimeter of the Main Pool (for the most part) is in poor condition except where portions were removed to install the

addition. There is noticeable cracking and deterioration, and there are limited deck drains which is most likely contributing to the deterioration of the deck.



2. Based on the above problems and that (at minimum) a three foot (3'-0") wide portion of the deck around the perimeter of the Main Pool will have to be removed to replace the existing perimeter recirculation piping, it is recommended that all existing concrete deck be removed and new deck poured with a properly designed continuous perimeter cyclac deck drain that will provide complete drainage of the deck in all areas around the Pool. This deck drain can outlet on the Filter Building side of the Pool.

3. The existing deck around the Wading Pool is in good condition; however, there is a drop-off (curb) at the gate that could present a liability situation especially for small children.



E. FENCING AND SUNBATHING AREA

1. The fencing around the perimeter of the Pool meets the minimum six foot (6'-0") height required by Code and is in relatively good condition. Periodic painting provides a more aesthetic appearance.
2. The amount of deck and lawn area available for sunbathing meets the minimum Code recommendations with respect to three (3) times the size of the water surface area of the Pools. However, the majority of lawn area is on a steep slope.

F. HANDICAP ACCESSIBILITY

The Americans With Disabilities Act (ADA) requires public and semi-public facilities to be handicap accessible (including into swimming pools), and ladders and steps do not meet these requirements. There are two (2) options to consider for providing handicap accessibility into the Main Pool:

1. A handicap lift can be installed at either the end or side of the shallow end of the Pool and is the least desirable method of providing handicap accessibility as it requires assistance from either staff or another Pool user, and draws attention to the disabled person. However, this is the least expensive method of providing handicap accessibility.
2. Install a ramp access at the shallow end wall of the Pool constructed of poured concrete with an abrasive tile finish on the surface at the entrance. The ramp access provides not only handicap accessibility, but also a safer means of access into the Pool for persons of all ages and abilities.

G. ADDITIONAL FEATURES

1. During renovation of Pool facilities, whether municipal-owned or private, incorporating some type of additional features or designs to encourage increased use of the facility are being considered and becoming very important. Some of these features result in additional use of the Pool.

The following features are recommended for this facility:

- a) The installation of water slides, either smaller enclosed tube, drop-type or larger open or enclosed tube slides, is being recommended to provide an additional attraction to the facility for use. Presently, there is two-tube enclosed slide located at the deep end of the Pool. As previously addressed under e), Main Pool Structure, this type of slide requires deeper water which is available at the deep end of the Main Pool but not directly at the exit of the tubes.

A larger tube-type slide could be considered with an entry area either side of the Main Pool. This type of slide normally requires only a three-and-one-half foot (3-1/2') to four foot (4') depth of water. However, a definitive Slide Entry Area is required that will eliminate general use when the slide is in operation.

- b) The installation of water playground equipment is very popular with extremely beneficial results in both the Main Pool and Wading Pool. This may include the simple installation of a mushroom-type fountain to a more intensified installation of multiple types of equipment. Experience has found that additional use of the facility is phenomenal. However, a shallower depth of water in the Main Pool is required for installation of these features. Some water features could be installed in the deck around the perimeter of the Main Pool that will provide cascading water into the Pool. (See paragraphs d and e.)
- c) Many facilities are installing Pool heaters to ensure a consistent water temperature, especially during the early season and during cooler, wet summers. A natural gas heater is recommended; however, propane gas and electric fired heat pumps can also be installed. Operational costs for either type of heater can vary greatly depending on desired water temperature, air temperature and weather.
- d) Constructing some form of Zero-Depth access to Pools is extremely popular, beneficial and also meets the requirements for providing handicap accessibility into the Pool, as addressed previously.

Since the average depth of water that currently exists in the Main Area of the Pool is too shallow for competitive swimming, construction of a Zero-Depth access in the Pool should be considered. This involves constructing a permanent concrete-type divider to allow for access and also not to exceed the minimum floor slopes required for ADA access. Water Features recommended in Paragraph b) could be installed in this area. (See SCHEMATIC RENOVATION PLAN.)

- e) A Zero-Depth access could be constructed within the present Wading Pool; however, it will eliminate some of the water surface. Water Features recommended in Paragraph b) can be incorporated in this Pool even if a Zero-Depth access is not constructed; however, a Zero-Depth access for this type of Pool is extremely important not only for ADA access, but more importantly for the age of the users associated with this Pool. (See SCHEMATIC RENOVATION PLAN.)

- f) Lighting of outdoor swimming pools for nighttime use is extremely popular and can be financially beneficial. Current recommended standards require thirty (30) foot-candle level of lighting over the water surface of the Pool. Presently there are two (2) poles with one (1) with two (2) fixtures and the other with four (4) fixtures. However, the minimum foot-candle requirement is not realized with the present system. Either additional poles and fixtures can be added or a complete new system installed to meet the requirement.

Many communities promote reserving the Pool especially beginning from 8:00 p.m. until possibly 10:00 p.m. for parties, special events, etc. which generates additional revenues; consequently, lighting becomes extremely important. Also, when Pool heaters are installed, as well as water slides and other types of play equipment, the use of these facilities can increase also into the later evening hours, thereby providing a usable attraction for both young and old.

- g) Installation of winterization covers is recommended not only for safety reasons, but also to eliminate yearly draining and cleaning of the Pool. This results in a considerable yearly operational savings and increases the

life-span of the Pool surface whether the Pool is painted or plastered. The Pools should be properly winterized and the winterization covers installed immediately after the facility closes. This procedure allows the cover to be removed in the Spring, the filtration system started, and chemicals added without having to drain the Pool for cleaning. Separate winterization covers could be considered for both the Main Pool and Wading Pool.

H. ESTIMATES OF PROBABLE CONSTRUCTION COSTS FOR THE PROPOSED RENOVATIONS AND IMPROVEMENTS

1. Main Pool

a)	Bonding and Mobilization	\$ 11,000.00
b)	Site Preparation and Pool Demolition	18,000.00
c)	Sandblasting/Patching	26,000.00
d)	Preparation and Plastering	38,500.00
e)	New Return Fittings	12,500.00
f)	New Skimmers	14,400.00
g)	New Drains and Pipe	21,000.00
h)	New Skimmers and Return Perimeter Piping	48,000.00
i)	Reconstruction of Expansion Joints	11,600.00
j)	New Ceramic Tile Work	31,000.00
k)	New Filter and Chemical System	84,000.00
l)	New Concrete Deck and Drain	72,000.00
m)	New Handicap Lift	6,000.00
n)	New Pool Coping	<u>27,000.00</u>

Sub-Total \$ 421,000.00

2. Wading Pool

a)	Sandblasting and Patching	\$ 4,000.00
b)	Preparation and Plastering	5,200.00
c)	Ceramic Tile Work	7,800.00
d)	Chemical System Work	<u>6,800.00</u>

Sub-Total \$ 23,800.00

3. Overhead, Profit and Contingency 90,000.00

TOTAL NECESSARY RENOVATIONS \$ 534,800.00

4. Additional Features

a)	Zero-Depth Access Addition to Main Pool (ADD)	\$ 149,600.00
b)	Zero-Depth Access to Wading Pool (ADD)	\$ 21,000.00
c)	Larger Open Tube Slide at Main Pool (ADD) (BUDGET)	\$ 65,000.00 to

		\$ 110,000.00
d)	Water Playground Equipment (ADD) (BUDGET)	
	1. Main Pool	\$ 25,000.00
		to
		\$ 60,000.00
	2. Wading Pool	\$ 10,000.00
		to
		\$ 25,000.00
e)	Winterization Covers (ADD)	
	1. Main Pool	\$ 18,240.00
	2. Wading Pool	\$ 3,100.00
f)	Main Pool Heater (ADD)	\$ 16,500.00
g)	Shallow Existing Main Pool Deep End (ADD)	\$ 36,000.00
h)	Renovate Main Pool Deep End for Diving (ADD)	\$ 94,000.00
i)	Ramp Access Only to Main Pool (ADD)	\$ 21,100.00
j)	Perimeter Gutter in Lieu of Skimmers for Main Pool (ADD)	\$ 112,000.00
k)	Pool Lighting Upgrades (ADD)	\$ 34,000.00

The above costs were compiled from similar competitive bid projects and reflect the use of Prevailing Wage Rates.

Approximately 8% for Design and Permitting Fees should be added to the total amount of the Scope of Work selected.

I. GENERAL COMMENTS

1. The total cost for necessary renovations and improvements to the Main Pool and Wading Pool of approximately \$535,000.00 is certainly feasible when compared to a cost of approximately \$975,000.00 to renovate the existing Pools and deck, and construct completely new comparable size concrete Pools. (These estimates do not include Bathhouse, fencing, etc.) Any improvements to the facility will certainly enhance the overall appearance and preserve the facility for many years in the future.

2. Undertaking all of the recommended necessary renovations and improvements, as well as incorporating any additional features under one (1) project is highly recommended if moneys allow and normally results in a substantial cost-savings. However, if moneys do not allow one (1) complete project, then Phasing of the recommended work should be considered. All of the work recommended to the Main Pool should be incorporated as the first Phase and Wading Pool could be a separate Phase. However, all underground piping for water features should be installed during renovation. If the Zero-Depth options for each Pool are incorporated.

3. Since the facility is currently being used during the Summer months, it is extremely important that any renovation project start as soon as the facility closes, thereby allowing work to be completed in the Spring of the following year. Considerable additional costs are realized when trying to complete a major renovation project in the Spring of the year, and also normal Memorial Day opening dates are not realized.

